

Summary Lead Appr: WW 121 Clerk: _____ Lead Clerk: _____ Appr: MDL Input Print Date: _____

Acct ID: 530004 MTL: 082W190000400 Date: 10/10/25 Appr: MDL Prop Class: 551 RMV Prop Class: 451
 Situs: 4170 COATES CREST WAY SE SALEM OR 97317 MaSaNh: 07 06 000 Unit: 149106 Year: 2025

Last Date Appraised: 01/07/2025 Appraiser: MATT LORD Tag: Y N Tag info: 2026 - Tags/Permit (Completion)
 Owner: HEATHER N ALDERMAN RLT Last Sales Date: 09/02/2020 Roll Type: R
 Cycle Tag Sales Verification Other: _____ Inspection level: 1 2 3 4 LCB TTO INSP AV: 898007
 RMV Land: 645710 RMV Imp: 2347210 RMV Total: 2992920 MAV: 585260 MSAV: 60547 SAV: 92547
 Comment: 25-26: L2 MDL 1.7.25 TAG 24-005954
 23-24: L4 2.14.23 CL
 22-23: L2 1.25.22 CL
 LEVEL 3 01/05/21 #06WV//

CWO 12/4/25

Notations

26.27: NSFD 100%

RP/MS	Code	Description
RP	ZONED	FARM EFU ZONED

OSDs

Count	Code	Description	RMV	Code Area	Exception
1	SAA	SA OSD - AVERAGE	50000	92595	0
1	SAG	SA OSD - GOOD	60000	92595	0

Land

Site: 1 Code Area: 92595 Size: 44.32 Acres Use Code: 005 Zone: REST SAV Use: 011 Exception: 0
 Class: 4HD Value Source: Farm Use - EFU Description: FOUR HILL DRY RMV: 499640 Exception: Y N
 Adjustment(s): VWGR Fire Patrol: Description:
 Comments: Liability year - 1978
 25-26: Land classes ok, increase size of homesite from 1.0 acre to 2.5
 22-23 REMOVE IRR
 19-20: #35 SALES VERIF, NO CHG
 17-18: UPDATE PART TOTALS

Site: 3 Code Area: 92595 Size: 2.50 Acres Use Code: 005 Zone: REST SAV Use: 011 Exception: 0
 Class: 4HD Value Source: Farm Homesite Description: FOUR HILL DRY RMV: 25770 Exception: Y N
 Adjustment(s): VWGR Fire Patrol: Description:
 Comments: Liability year - 2022 (1.0 acre was 1978), 2025 (1.50 acres were 1978)
 22-23 REMOVE IRR ADD 1 AC HOMESITE 19-20: #35 SALES VERIF, NO CHG / 17-18: UPDATE PART TOTALS / 02400210: 01-02;
 COMBINED LAND SEGS, SAME SOIL CLASS, SAME LIAB YEAR, 31.91 ACRES TOTAL //1-3-07 (GW39): Switching to improved land
 schedule and deleting PT per Planning approval for NFDs.

Site: 4 Code Area: 92595 Size: 1.00 Acres Use Code: 005 Zone: REST SAV Use: 011 Exception: 0
 Class: 4HD Value Source: Farm Homesite Description: FOUR HILL DRY RMV: 10300 Exception: Y N
 Adjustment(s): VWGR Fire Patrol: Description:
 Comments: Liability year - 2025 (was 1978)

Improvements - Residence / Manufactured Structures

Bldg: 1 Code Area: 92595 Stat Class: 152 + Year Blt: 2021 Eff Year Blt: 2021 Sq.Ft: 4823 % Complete: 100.00
 Desc: Multi Story above grade Dimensions: RMV: 1230820
 Func Obsc: 100 Econ %: 100 Other %: 100 Exception: 0 Adjust: Adjust RMV: 0

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory	Exception
First Floor	5 +	Finished	4459	3	FB-3/ HB-1	2021	2021	BATH+, ROOF, FP - 1, HVAC+, BTH - 1, BATH - 3, KIT-	Y N
Attic	5 +	Finished	364	1	0	2021	2021	HVAC+, BATH - 1	Y N
Garage Attached	5 +	Finished	1313	0	0	2021	2021	ROOF	Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity	Exception
SWIMMING POOL	5	800	2021	24750	0	Y N
YARD IMPROVEMENTS EXCELLENT	5	0	2021	77270	1	Y N

Bldg: 2 Code Area: 92595 Stat Class: 158 Year Blt: 2021 Eff Year Blt: 2021 Sq.Ft: 1540 % Complete: 100.00
 Desc: Res other improvements Dimensions: RMV: 587780
 Func Obsc: 100 Econ %: 100 Other %: 100 Exception: 0 Adjust: Adjust RMV: 0

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory	Exception
Second Floor	5	Finished	1540	0	FB-1	2021	2021	BATH - 1, HVAC	Y N
Garage Oversized Detached	5	Unfinished	3780	0	HB-1	2021	2021	BTH - 1, ROOF	Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity	
No accessory data available						
Bldg: 3	Code Area: 92595	Stat Class: 141 +	Year Blt: 2024	Eff Year Blt: 2024	Sq.Ft: 2778	% Complete: 80.00
Desc: One Story Only			Dimensions:		RMV: 494650	100
Func Obsc: 100	Econ %: 100	Other %: 100	Exception: 236010	Adjust:	Adjust RMV: 0	

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory
First Floor	4 +	Finished	2778	3	FB-2/ HB-1	2024	2024	KIT, BATH+, BTH - 1, BATH - 2, FP - 1, ROOF, HVAC+ Exception: Y N
Garage Attached	4 +	Finished	714	0	0	2024	2024	ROOF Exception: Y N
Garage Attached	4 +	Finished	288	0	0	2024	2024	Exception: Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity
YARD IMPROVEMENTS AVERAGE	4	0	2024	25680	1
Exception: Y N					

Improvements - Accessory Buildings

Bldg: 4	Code Area: 92595	Stat Class: 312	Year Blt: 2023	Eff Year Blt: 2023	Sq.Ft: 800	% Complete: 100.00
Desc: Loft Barn (LB)			Dimensions: 40x20		RMV: 28660	
Func Obsc: 100	Econ %: 100	Other %: 100	Exception: 13670	Adjust:	Adjust RMV: 0	

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory
Loft Barn	5	Finished	800	0	0	2023	2023	FAIR Exception: Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity
No accessory data available					

Bldg: 5	Code Area: 92595	Stat Class: 355	Year Blt: 2023	Eff Year Blt: 2023	Sq.Ft: 400	% Complete: 100.00
Desc: Lean-to Heavy (LTH)			Dimensions: 40x10		RMV: 2650	
Func Obsc: 100	Econ %: 100	Other %: 100	Exception: 1260	Adjust:	Adjust RMV: 0	

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory
Lean-to Heavy Duty	5	Finished	400	0	0	2023	2023	Exception: Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity
No accessory data available					

Bldg: 6	Code Area: 92595	Stat Class: 355	Year Blt: 2023	Eff Year Blt: 2023	Sq.Ft: 400	% Complete: 100.00
Desc: Lean-to Heavy (LTH)			Dimensions: 40x10		RMV: 2650	
Func Obsc: 100	Econ %: 100	Other %: 100	Exception: 1260	Adjust:	Adjust RMV: 0	

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory
Lean-to Heavy Duty	5	Finished	400	0	0	2023	2023	Exception: Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity
No accessory data available					

Farm Notes

2021FARM: #77 rec'd call from Jeremy 9/15/21. Been out of town, will email information soon.

FYI: Gate, call first 503-871-7563 ethanmiley1987@gmail.com

2025FARM

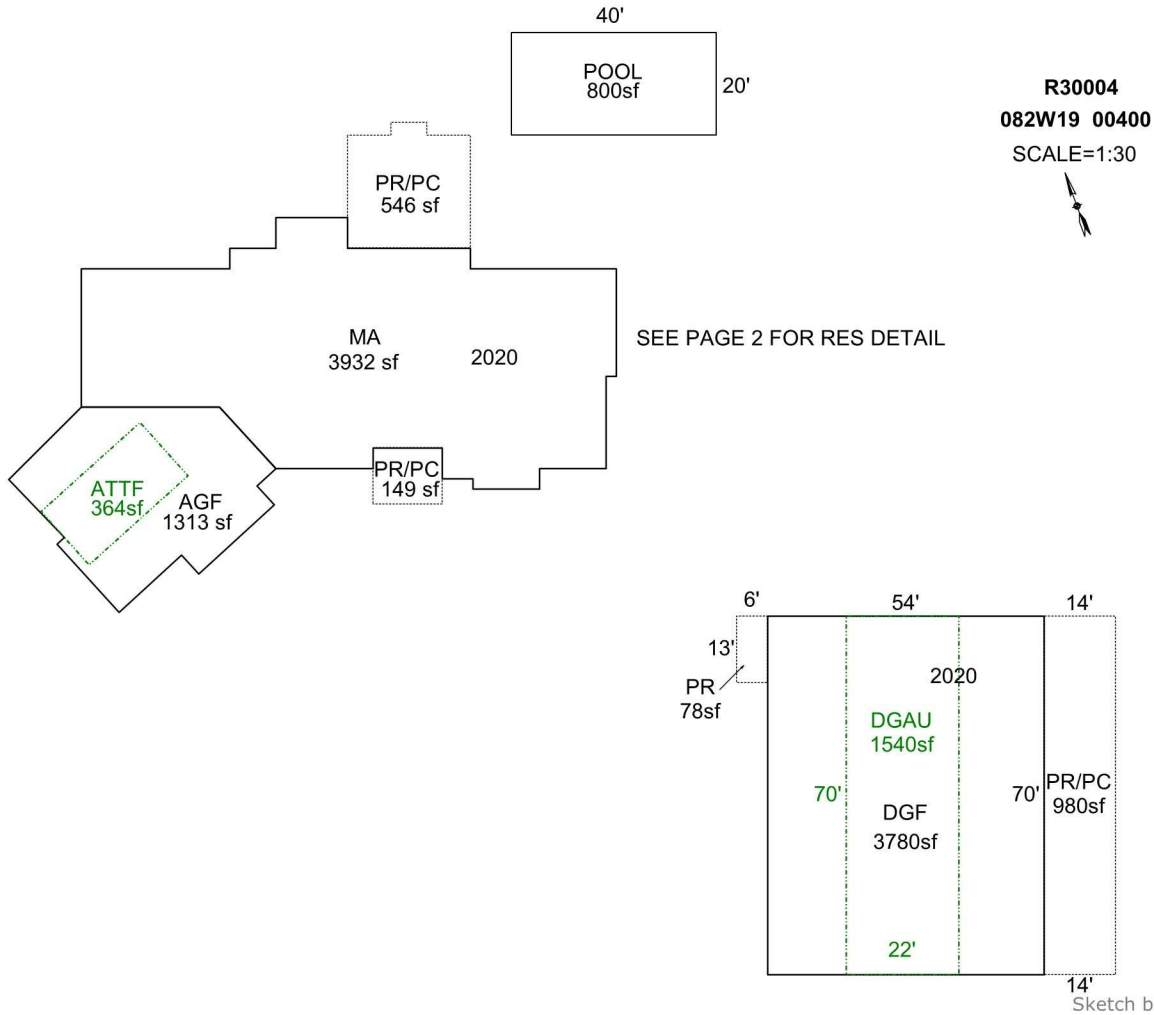
1/7/25: Inspected by MLH L2 during tags, farm use ok - seed/hay

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: R30004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: SALEM County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	3931.5	316.3	3931.5
GAR	AGF	1.0	1312.8	150.4	
	DGF	1.0	3780.0	248.0	5092.8
GAR2	ATTF	1.0	364.0	80.0	
	DGAU	1.0	1540.0	184.0	1904.0
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	545.5	97.0	
	PR/PC	1.0	148.5	49.0	
	PR/PC	1.0	980.0	168.0	
	PR	1.0	78.0	38.0	1752.0
	Net LIVABLE	cnt	1 (rounded)		3,932

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950

COMMENT TABLE 2

COMMENT TABLE 3









530004 MA Front- (4)
2022-01-25 L2



530004 MA Rear- (1)
2022-01-25 L2



530004 MA Rear- (4)
2022-01-25 L2



530004 MA Front- (3)
2022-01-25 L2



530004 MA Front- (6)
2022-01-25 L2



530004 MA Rear- (3)
2022-01-25 L2



530004 MA Front- (2)
2022-01-25 L2



530004 MA Front- (5)
2022-01-25 L2



530004 MA Rear- (2)
2022-01-25 L2



530004 SP- (2)
2022-01-25 L2



530004 W to N View- (3)
2022-01-25 L2



530004 W to N View- (6)
2022-01-25 L2



530004 SP- (1)
2022-01-25 L2



530004 W to N View- (2)
2022-01-25 L2



530004 W to N View- (5)
2022-01-25 L2



530004 MA Rear- (5)
2022-01-25 L2



530004 W to N View- (1)
2022-01-25 L2



530004 W to N View- (4)
2022-01-25 L2

FLOOR PLAN KEYNOTES

MARK	NOTES
◇	INSTALL 94% (AFUE) EFFICIENT GAS FURNACE WITH BACKDRAFT DAMPENER
◇	INSTALL PROPANE WATER HEATER W/ BACKDRAFT DAMPER, ELEVATE FLAME TO MIN 18" ABOVE SLAB
◇	AC UNIT
◇	ZERO-CLEARANCE DIRECT VENT GAS FIREPLACE
◇	MICROWAVE LOCATION
◇	REFRIGERATOR / FREEZER COMBO
◇	24" DISHWASHER
◇	30" GAS RANGE
◇	WALL OVEN
◇	32" SINK BASE
◇	TILE SHOWER
◇	FIBERGLASS TUB SHOWER
◇	UTILITY SINK
◇	VANITY CABINET
◇	PEDESTAL SINK
◇	WASHER / DRYER
◇	KITCHEN ISLAND. SEE CABINET DWG'S
◇	CUSTOM BUILT-IN CABINET
◇	ROD AND SHELF @68" ABOVE FINISH FLOOR
◇	MECHANICAL CHASE

STRUCTURE DATA

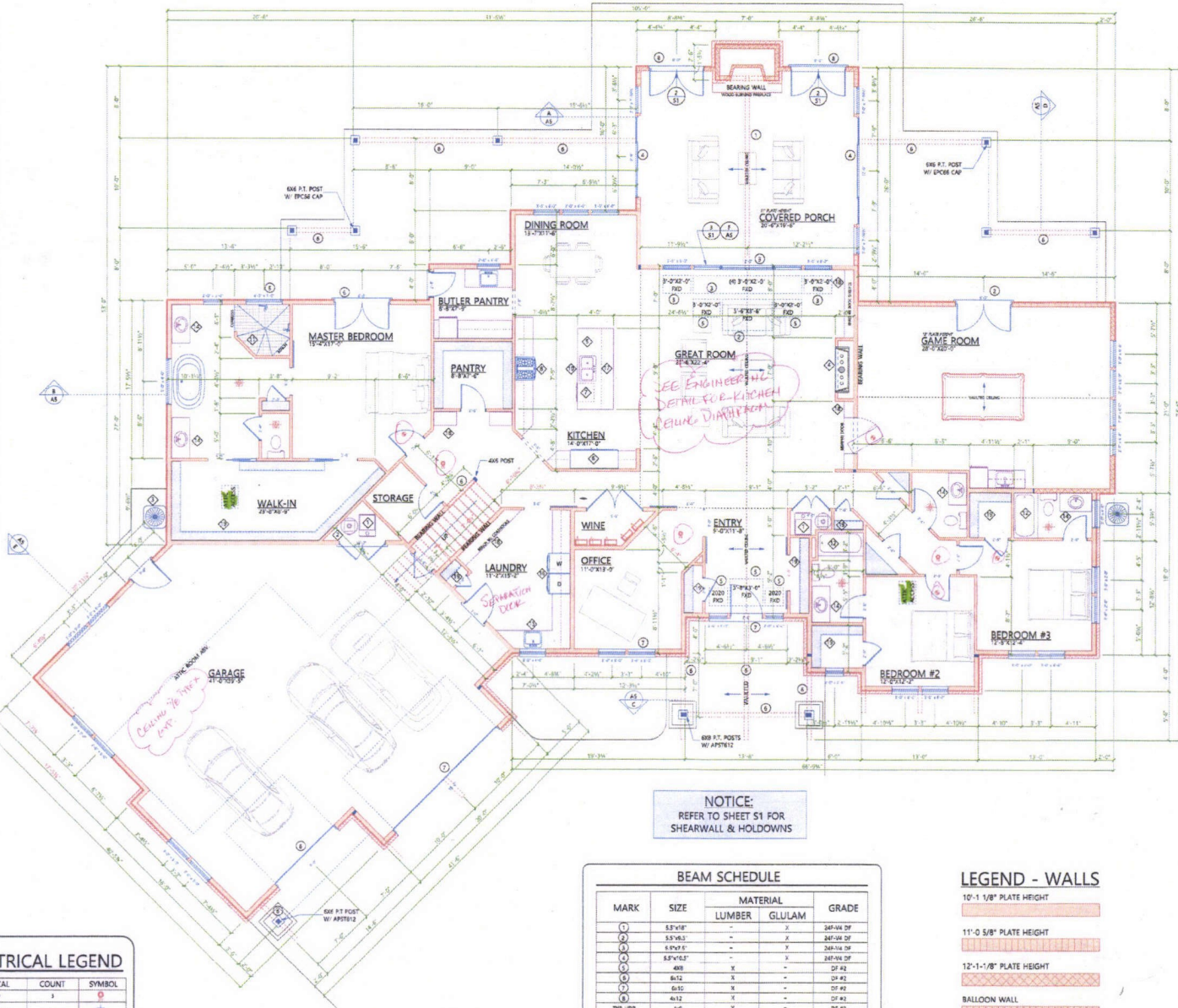
MAIN FLOOR (LIVING)	3958 SF
SECOND FLOOR (LIVING)	400 SF
GARAGE	1366 SF
BUILDING HEIGHT	27'-10 1/2" A.F.F.
FRONT COVERED PORCH	154 SF
REAR COVERED PORCH	566 SF
BUILDING FOOTPRINT	6018 SF

FLOOR PLAN NOTES

1. WALL HEIGHT 10'-1 1/8"
2. STANDARD HEADER HEIGHT SHALL BE 8'-0"
3. 4X8 DF #2 HEADER U.N.D.
4. 7/16" OSB SHEATHING
5. EXTERIOR WALL FRAMED 2X6 TOP & BOTTOM PLATES
W/ 2X6 STUDS AT 16" O.C. U.N.D.
6. INTERIOR WALL FRAMED 2X4 TOP & BOTTOM PLATES
W/ 2X4 STUDS @16" O.C. U.N.D.
7. INTERIOR FINISH SHALL BE 1/2" GYPSUM BOARD
8. ALL ANGLE FD WALLS ARE 45 DEGREES FROM ADJACENT WALLS U.N.D.

ELECTRICAL LEGEND

ELECTRICAL	COUNT	SYMBOL
sm detector	3	◇
sm light switch	3	◇
wireless detector	3	◇



MAIN FLOOR PLAN
SCALE: 3/16"=1'-0"

NOTICE:
REFER TO SHEET S1 FOR
SHEARWALL & HOLD-DOWNS

BEAM SCHEDULE

MARK	SIZE	MATERIAL		GRADE
		LUMBER	GLULAM	
①	5.5"x18"	-	X	24'-0" DF
②	5.5"x8.5"	-	X	24'-0" DF
③	6.5"x17"	-	X	24'-0" DF
④	6.5"x12"	-	X	24'-0" DF
⑤	4X8	X	-	DF #2
⑥	6x12	X	-	DF #2
⑦	6x12	X	-	DF #2
⑧	6x12	X	-	DF #2
TYP. 10A	4x6	X	-	DF #2
TYP. BATTEN	2x10	X	-	DF #2

LEGEND - WALLS

10'-1 1/8" PLATE HEIGHT
11'-0 5/8" PLATE HEIGHT
12'-1 1/8" PLATE HEIGHT
BALLOON WALL



2529 JAMES HOWE RD
DALLAS, OREGON 97338
PH: 509-540-0978

EMAIL: tristanboylan92@gmail.com

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PROJECT INFO:
ALDERMAN RES.
COATES WAY

DOCUMENT DATE:
10/20/2014

DRAWN BY:
TRISTAN BOYLAN

REV. DATE. REMARK

MAIN FLOOR
PLAN

A1.a

FLOOR PLAN KEYNOTES

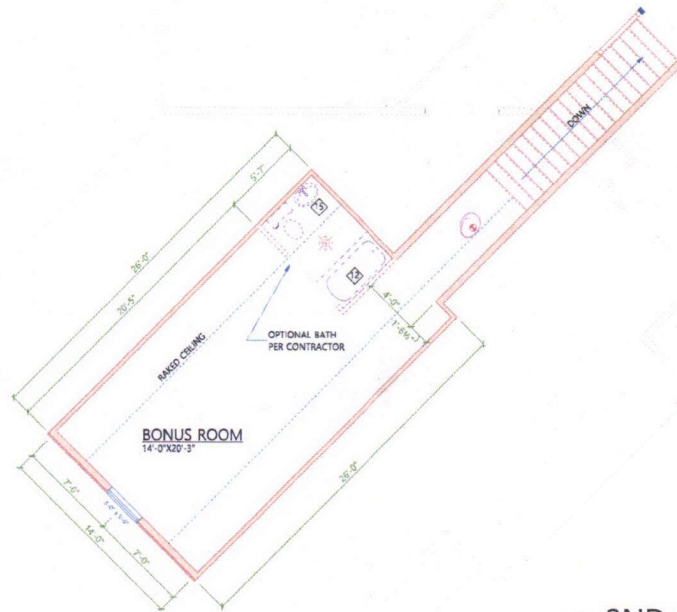
MARK	NOTES
①	INSTALL 90% (ATUE) EFFICIENT GAS FURNACE WITH BACKDRAFT DAMPENER
②	INSTALL PROPANE WATER HEATER W/ BACKDRAFT DAMPER, ELEVATE FLAME TO MIN 18" ABOVE SLAB.
③	AC UNIT
④	ZERO-CLEARANCE DIRECT VENT GAS FIREPLACE
⑤	MICROWAVE LOCATION
⑥	36" REFRIGERATOR BY HOMEOWNER
⑦	24" DISHWASHER
⑧	30" GAS RANGE
⑨	WALL OVEN
⑩	32" SINK BASE
⑪	TILE SHOWER
⑫	FIBERGLASS TUB SHOWER
⑬	UTILITY SINK
⑭	VANITY CABINET
⑮	PEDESTAL SINK
⑯	WASHER / DRYER
⑰	KITCHEN ISLAND. SEE CABINET DWG'S
⑱	CUSTOM BUILT-IN CABINET
⑲	ROD AND SHELF @66" ABOVE FINISH FLOOR
⑳	MECHANICAL CHASE

STRUCTURE DATA

MAIN FLOOR (LIVING)	3958 SF
SECOND FLOOR (LIVING)	400 SF
GARAGE	1366 SF
BUILDING HEIGHT	27'-10 1/2" A.F.F.
FRONT COVERED PORCH	154 SF
REAR COVERED PORCH	566 SF
BUILDING FOOTPRINT	6018 SF

FLOOR PLAN NOTES

1. WALL HEIGHT 8'-1 1/8"
2. STANDARD HEADER HEIGHT SHALL BE 6'-10 1/2"
3. 4X8 DF #2 HEADER U.N.O.
4. 7/16" OSB SHEATHING
5. EXTERIOR WALL FRAMED 2X6 TOP & BOTTOM PLATES
W/ 2X6 STUDS AT 16" O.C. U.N.O.
6. INTERIOR WALL FRAMED 2X4 TOP & BOTTOM PLATES
W/ 2X4 STUDS @16" O.C. U.N.O.
7. INTERIOR FINISH SHALL BE 1/2" GYPSUM BOARD
8. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALLS U.N.O.



ELECTRICAL LEGEND

ELECTRICAL	COUNT	SYMBOL
sm detector	N/A	⊙
sm light combo	1	⊕
smoke detector	1	⊙

2
A1 2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2529 JAMES HOWE RD
DALLAS, OREGON 97338
PH: 509-540-0978

EMAIL: tristanboylan92@gmail.com

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PROJECT INFO:
ALDERMAN RES.

SALEM
DOCUMENT DATE:
Tuesday, August 4, 2020

DRAWN BY:
TRISTAN BOYLAN

REV. DATE. REMARK

2ND FLOOR
PLAN

A1.b

ELEVATION NOTES

REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL CALL-OUTS AND NOTES

EXTERIOR SIDING - FOR EXTERIOR SIDING SEE FRONT ELEVATIONS CALL-OUTS U.N.O.

CENTER TRIM BANDS - 2X2 PAINT GRADE MATERIAL PER CONTRACTOR

UPPER TRIM BANDS - 2X2 PAINT GRADE MATERIAL PER CONTRACTOR

ROOFING - ASPHALT COMPOSITION ROOFING PER CONTRACTOR

PORCH CEILING - 1X6 T&G MATERIAL PER CONTRACTOR

EXPOSED ROOF SOFFITS - T1-11 PLYWOOD W/ GOOVES @4" O.C. PER CONTRACTOR

OVERHANGS - 24" U.N.O.



BARGE BOARDS - 2X10 W/ 1X3 SHADOW BOARD WINDOW TRIM - 5/4X4 JAMBS, 2X3 SLOPED SHL, 5/4X8 HEAD TRIM, TO BE PER CONTRACTOR

DOOR TRIM - 5/4X4 JAMBS, 5/4X8 HEAD TRIM U.N.O. MATERIAL PER CONTRACTOR

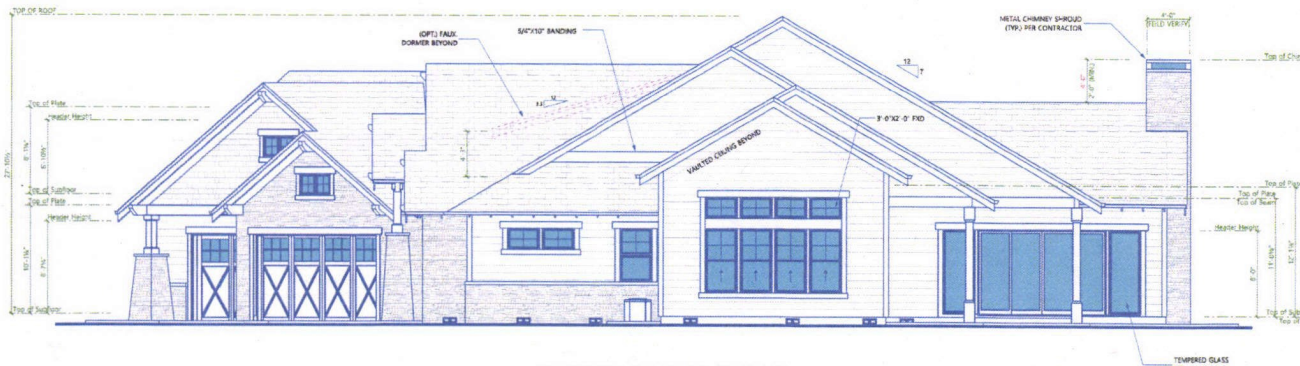
FASCIA - N/A

TYPICAL EXTERIOR SIDING

TYPICAL EXTERIOR SIDING MATERIALS

-  HORIZONTAL LAP SIDING - (7" EXPOSURE) MANUFACTURER PER BUILDERS' EXTERIOR SIDING INSTALLED BY MANUF. SPACS. OVER APPROVED MOISTURE BARRIER ON MIN. 5/16" SOLID EXTERIOR SHTG. OVER 2X6 STUDS.
-  "HARDIE" SHAKE SIDING - (7" EXPOSURE) MANUFACTURER PER BUILDERS' EXTERIOR SIDING INSTALLED BY MANUF. SPACS. OVER APPROVED MOISTURE BARRIER ON MIN. 5/16" SOLID EXTERIOR SHTG. OVER 2X6 STUDS.

REFERENCE NAILING SCHEDULES, FRAMING AND BRACING PLANS FOR STUD SPACING, SHTG. AND NAILING REQ'MTS.



3 RIGHT ELEVATION
SCALE: 3/16"=1'-0"



4 REAR ELEVATION
SCALE: 3/16"=1'-0"



2529 JAMES HOWE RD
DALLAS, OREGON 97338
PH: 509-540-0978

EMAIL: tristanboylan92@gmail.com

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ALDERMAN RES.
COATES WAY
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DRAWN BY:
TRISTAN BOYLAN

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REV. DATE. REMARK

EXTERIOR ELEVATIONS

A2.b



2529 JAMES HOWE RD
DALLAS, OREGON 97338
PH: 509-540-0978

EMAIL: tristenboylan92@gmail.com

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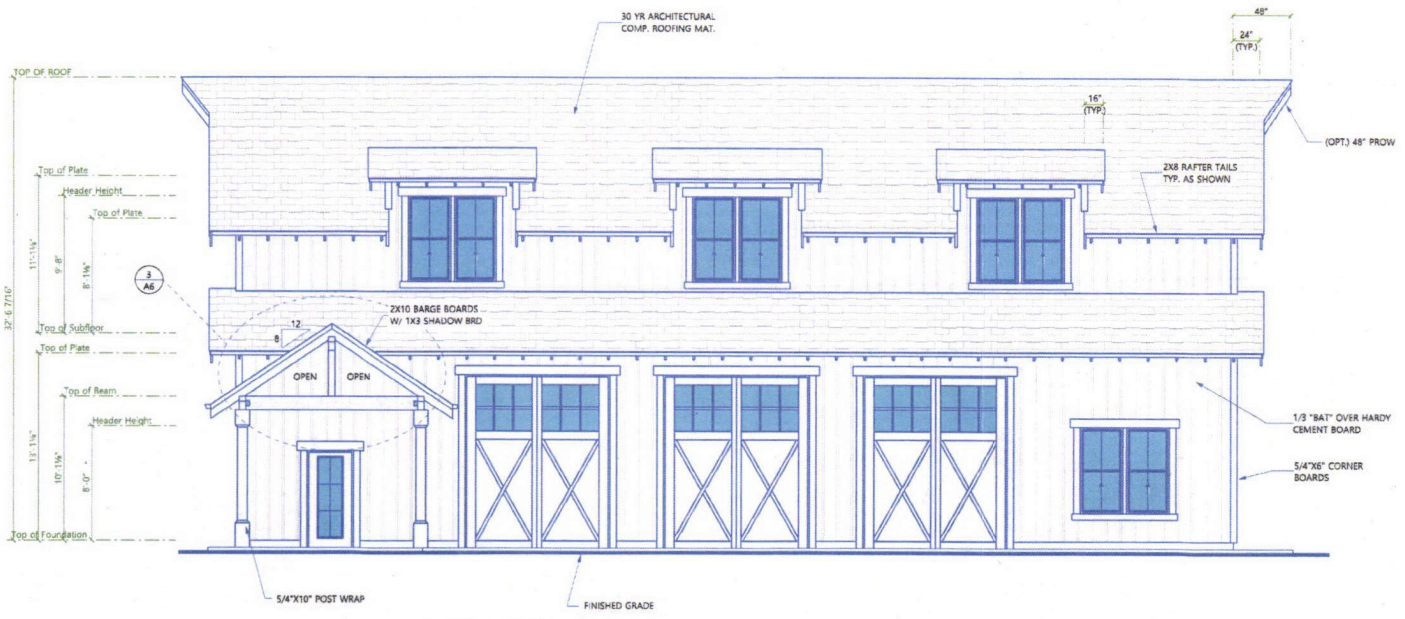
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XXX COATES WAY
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TRISTEN BOYLAN

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REV. DATE REMARK

EXTERIOR ELEVATIONS

A2.a



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL CALL-OUTS AND NOTES

EXTERIOR SIDING - FOR EXTERIOR SIDING SEE FRONT ELEVATIONS CALL-OUTS U.N.O.

CENTER TRIM BANDS - 2x2 PAINT GRADE MATERIAL PER CONTRACTOR

UPPER TRIM BANDS - 2x2 PAINT GRADE MATERIAL PER CONTRACTOR

ROOFING - ASPALT COMPOSITION ROOFING PER CONTRACTOR

PORCH CEILING - 1x6 T&G MATERIAL PER CONTRACTOR

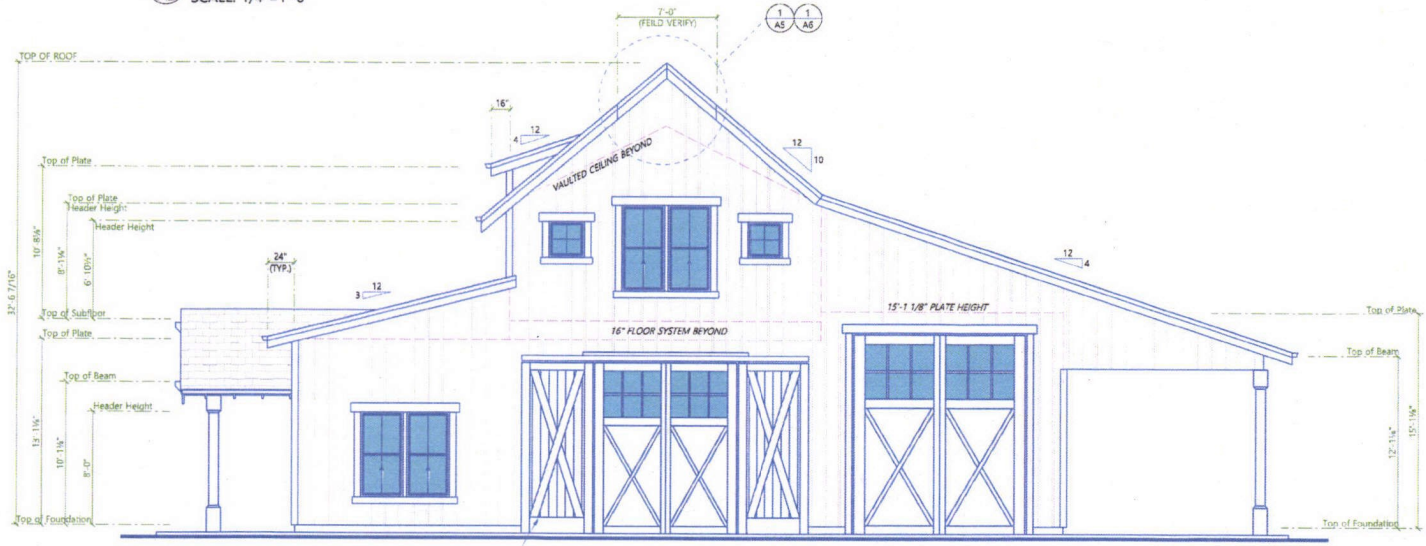
EXPOSED ROOF SOFFITS - T1-11 PLYWOOD W/ GOOVES @4" O.C. PER CONTRACTOR

OVERHANGS - 24" U.N.O.

BARGE BOARDS - 2x10 W/ 1x3 SHADOW BOARD WINDOW TRIM - 5/4x4 JAMBS, 2x3 SLOPED SILL, 5/4x8 HEAD TRIM, TO BE PER CONTRACTOR

DOOR TRIM - 5/4x4 JAMBS, 5/4x8 HEAD TRIM U.N.O. MATERIAL PER CONTRACTOR

FASCIA - 5/4x6 MATERIAL PER CONTRACTOR



3 RIGHT ELEVATION
SCALE: 1/4"=1'-0"



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ELECTRICAL LEGEND

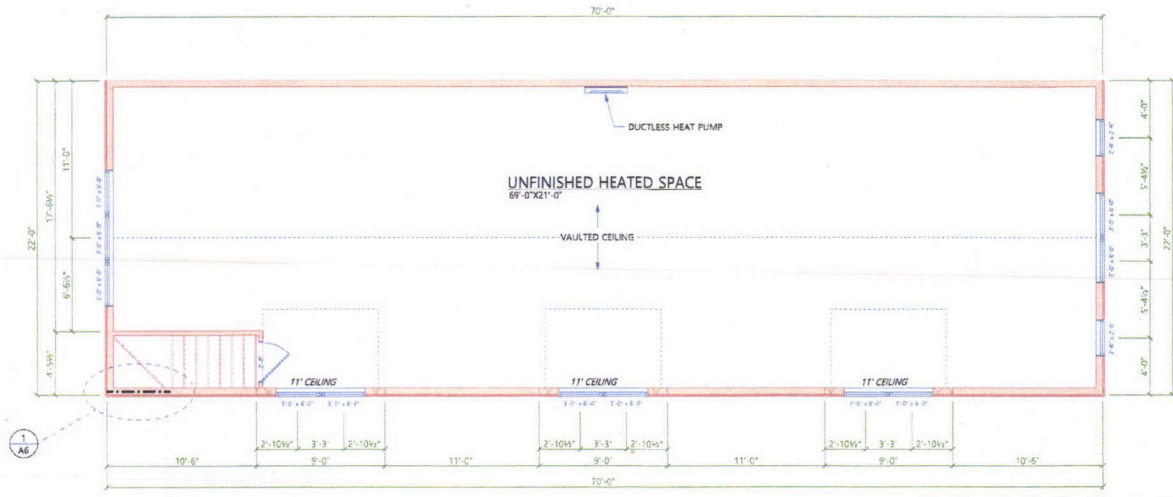
ELECTRICAL	COUNT	SYMBOL
co detector	N/A	⊙
fan light combo	1	⊕
smoke detector	1	⊙

FLOOR PLAN NOTES

1. WALL HEIGHT 8'-1 1/8" / 11'-1 1/8"
2. STANDARD HEADER HEIGHT SHALL BE 8'-1 1/8" / 9'-8" & 6'-10 1/2" (REFER TO ELEVATIONS) (SHEET A3)
3. 4X8 HEADER MIN. U.N.O.
4. 7/16" OSB SHEATHING
5. EXTERIOR WALL FRAMED 2X6 TOP & BOTTOM PLATES W/ 2X6 STUDS AT 16" O.C. U.N.O.
6. INTERIOR WALL FRAMED 2X4 TOP & BOTTOM PLATES W/ 2X4 STUDS @ 16" O.C. U.N.O.
7. INTERIOR FINISH SHALL BE 1/2" GYPSUM BOARD
8. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALLS U.N.O.

STRUCTURE DATA

MAIN FLOOR	220 SF
SECOND FLOOR	1496 SF
GARAGE	3560 SF
BUILDING HEIGHT	32'-6 7/16" A.F.F.
FRONT COVERED PORCH	78 SF
REAR COVERED PORCH	980 SF
BUILDING FOOTPRINT	4830 SF



2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"

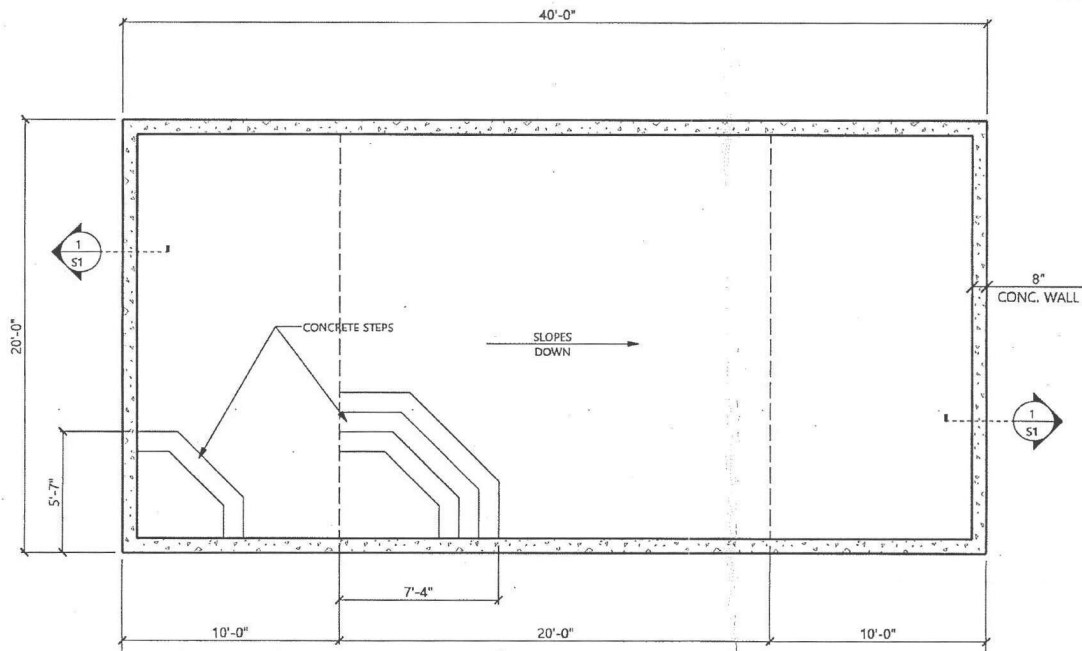
PROJECT INFO:
ALDERMAN SHOP
XXX COATES WAY
DOCUMENT DATE:
Tuesday, August 18, 2020
DRAWN BY:
TRISTAN BOYLAN

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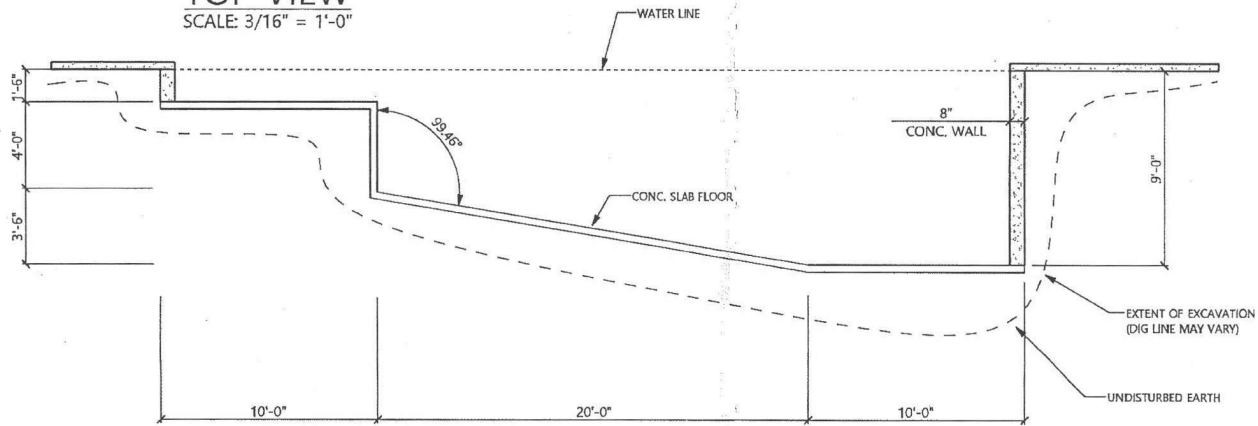
REV. DATE. REMARK

SECOND FLOOR PLAN

A1.b



TOP VIEW
SCALE: 3/16" = 1'-0"



SECTION
SCALE: 3/16" = 1'-0"



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SITE ADDRESS:
4170 COATES WAY
SALEM, OR 97317

REVISIONS

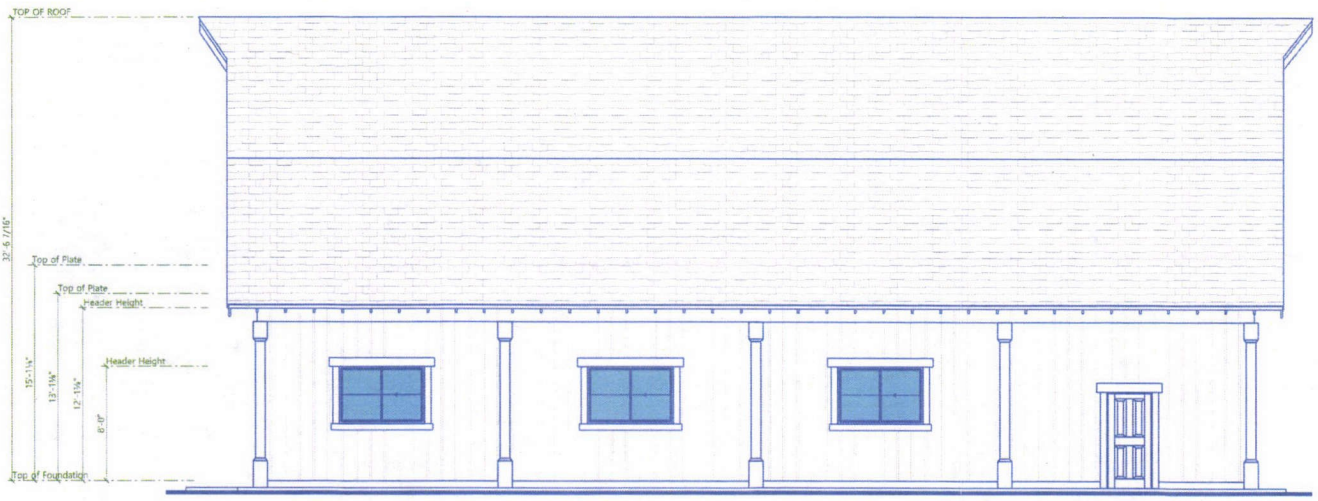
CUSTOMER:
**JEREMY
ALDERMAN**
PHONE: (253) 317-0523

**TOP VIEW &
SECTION**

HILINE HOMES
11308 62ND AVENUE
PUYALLUP WA, 98373
(253) 770-2244 ext. 129

PLAN:
DATE: 4/30/2021
JOB#:

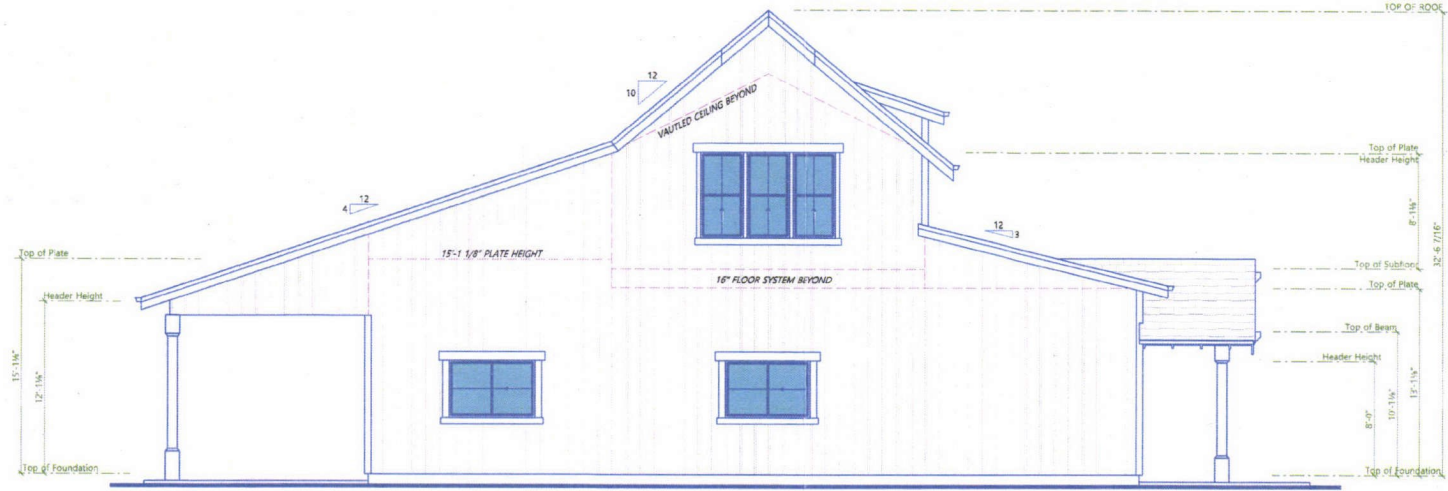
S1



4
A2 REAR ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- REFER TO FRONT ELEVATION FOR TYPICAL MATERIAL CALL-OUTS AND NOTES
- EXTERIOR SIDING - FOR EXTERIOR SIDING SEE FRONT ELEVATIONS CALL-OUTS U.N.O.
- CENTER TRIM BANDS - 2X2 PAINT GRADE MATERIAL PER CONTRACTOR
- UPPER TRIM BANDS - 2X2 PAINT GRADE MATERIAL PER CONTRACTOR
- ROOFING - ASPALT COMPOSITION ROOFING PER CONTRACTOR
- PORCH CEILING - 1X6 T&G MATERIAL PER CONTRACTOR
- EXPOSED ROOF SOFFITS - T1-11 PLYWOOD W/ GROOVES @4" O.C. PER CONTRACTOR
- OVERHANGS - 24" U.N.O.
- BARGE BOARDS - 2X10 W/ 1X3 SHADOW BOARD WINDOW TRIM - 5/4X4 JAMBS, 2X2 SLOPED SILL, 5/4X8 HEAD TRIM, TO BE PER CONTRACTOR
- DOOR TRIM - 5/4X4 JAMBS, 5/4X8 HEAD TRIM U.N.O. MATERIAL PER CONTRACTOR
- FASCIA - 5/4X6 MATERIAL PER CONTRACTOR



3
A2 LEFT ELEVATION
SCALE: 1/4"=1'-0"



2529 JAMES HOWE RD
DALLAS, OREGON 97338
PH: 509-540-0978

EMAIL: tristanboylan92@gmail.com

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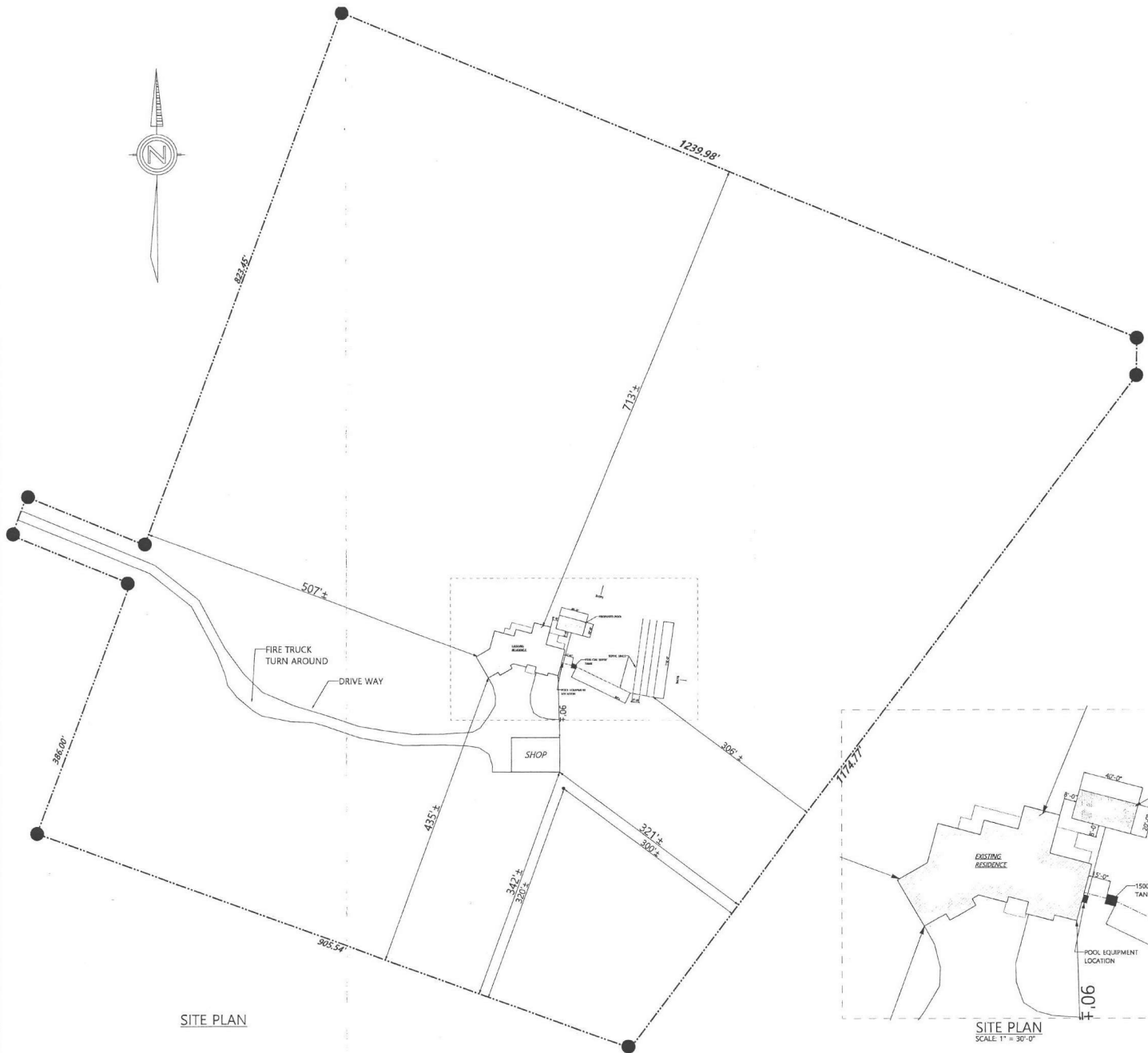
PROJECT INFO:
ALDERMAN SHOP
XXX COATES WAY
DOCUMENT DATE:
10/26/2020
DRAWN BY:
TRISTAN BOYLAN

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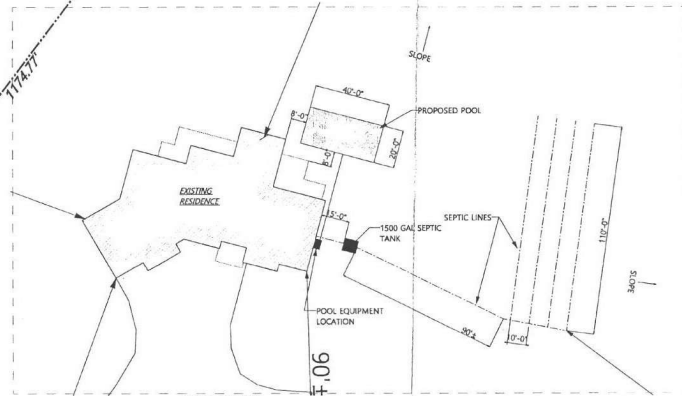
REV.	DATE	REMARK

EXTERIOR ELEVATIONS

A2.b



SITE PLAN



SITE PLAN
SCALE 1" = 30'-0"

REVIEWED FOR CODE
COMPLIANCE - 2017
OREGON RESIDENTIAL
SPECIALTY CODE



555-21-001950-S1R
4170 COATES CREST WAY SE
SALEM

SUBJECT PROPERTY
4170 COATES CREST WAY
SALEM, OR 97317
TAX LOT #: 082W190000400
MAP #: 082W19 00400
AREA: 30.83 AC.

FILE
DENALI DESIGNS
RESIDENTIAL DRAFTING

PO BOX 45
DALLAS, OREGON 97338
PH: 509-540-0978

EMAIL: tristanboylan92@gmail.com

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JOB#:

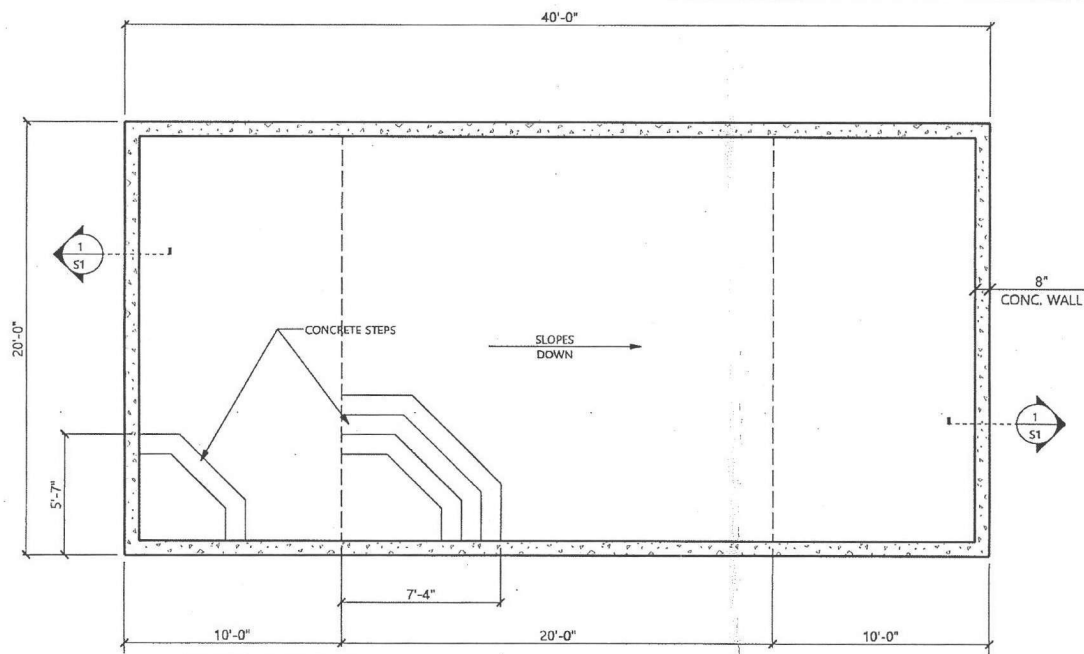
PROJECT INFO:
**JEREMY
ALDERMAN**
DOCUMENT DATE:
Monday, May 10, 2021
DRAWN BY:
TRISTAN BOYLAN

REVISION SCHEDULE

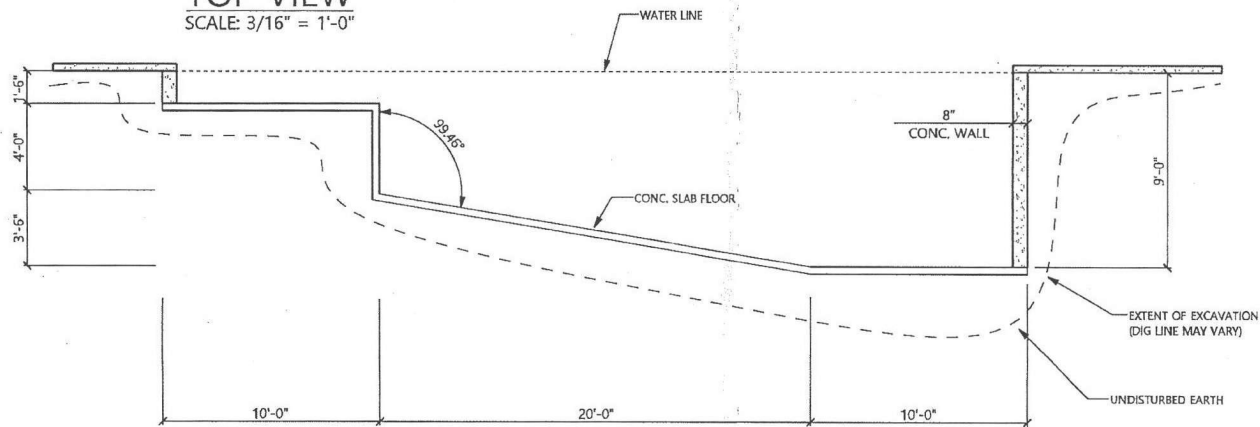
SITE PLAN

1

SHEET #: 1 OF 1



TOP VIEW
SCALE: 3/16" = 1'-0"



SECTION
SCALE: 3/16" = 1'-0"



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SITE ADDRESS:
4170 COATES WAY
SALEM, OR 97317

REVISIONS

CUSTOMER:
**JEREMY
ALDERMAN**
PHONE (253) 377-6553

**TOP VIEW &
SECTION**

HILINE HOMES
11308 82ND AVENUE
PUYALLUP WA, 98373
(253) 770-2244 ext. 129

PLAN:
DATE: 4/30/2021
JOB#:

S1



2529 JAMES HOWE RD
DALLAS, OREGON 97338
PH: 509-540-0978

EMAIL: tristanboylan92@gmail.com

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PROJECT INFO:
ALDERMAN SHOP
XXX COATES WAY
DOCUMENT DATE:
Tuesday, August 18, 2020
DRAWN BY:
TRISTAN BOYLAN

THE DRAWING IS NOT A WARRANTY OF FITNESS AND SHALL BE LIMITED TO THE WORK SPECIFICALLY IDENTIFIED ON THE DRAWING. THE USER ASSUMES ALL LIABILITY FOR ANY DAMAGE, LOSS, INJURY, OR DEATH THAT MAY BE CAUSED BY ANY USE OF THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

REV.	DATE	REMARK

MAIN FLOOR PLAN

A1.a

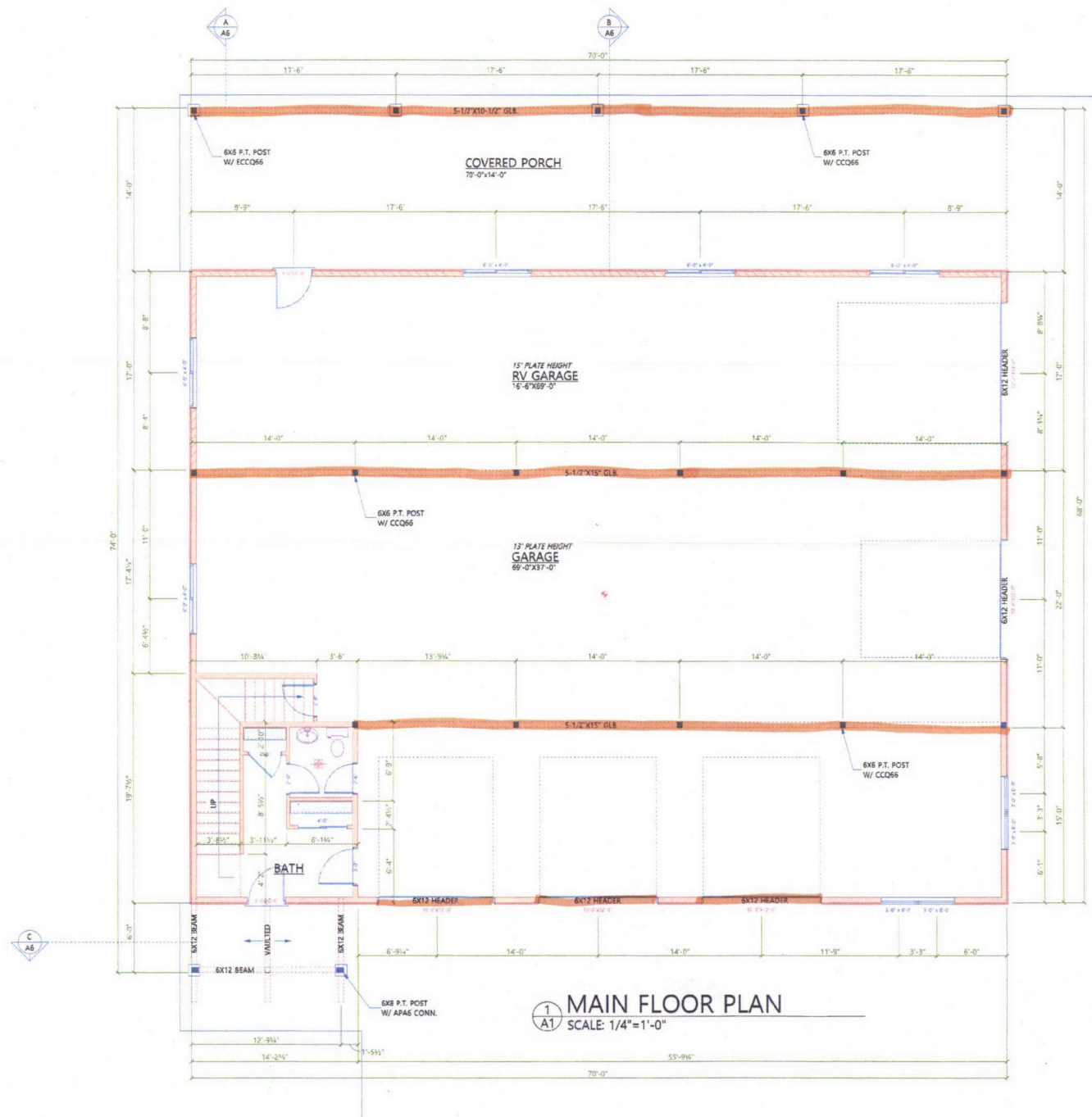
ELECTRICAL LEGEND

ELECTRICAL	COUNT	SYMBOL
ex detector	N/A	⊙
fire alarm control	1	⊕
smoke detector	1	⊙

- FLOOR PLAN NOTES**
1. WALL HEIGHT 13'-1 1/8" / 15'-1 1/8"
 2. STANDARD HEADER HEIGHT SHALL BE 8'-0"
 3. 4XB HEADER MIN. U.N.O.
 4. 7/16" OSB SHEATHING
 5. EXTERIOR WALL FRAMED 2X6 TOP & BOTTOM PLATES
W/ 2X6 STUDS AT 16" O.C. U.N.O.
 6. INTERIOR WALL FRAMED 2X4 TOP & BOTTOM PLATES
W/ 2X4 STUDS @ 16" O.C. U.N.O.
 7. INTERIOR FINISH SHALL BE 1/2" GYPSUM BOARD
 8. ALL ANGLED WALLS ARE 45 DEGREES FROM ADJACENT WALLS U.N.O.

STRUCTURE DATA

MAIN FLOOR	220 SF
SECOND FLOOR	1496 SF
GARAGE	3560 SF
BUILDING HEIGHT	32'-6 7/16" A.F.F.
FRONT COVERED PORCH	78 SF
REAR COVERED PORCH	980 SF
BUILDING FOOTPRINT	4890 SF





20-005489 -(N) Finalcd 11/2
20-005891 -(G) Finalcd 7/12
21-004950 -(SP) ✓ 1/1/23



© All Pictometry

03/12/2021

Acct ID: 530004 MTL: 082W190000400 Date: **1/7/25** Appr: **MPL** Prop Class: 551 RMV Prop Class: 451
 Situs: **conts crest** MaSaNh: 07 06 000 Unit: 149106 Year: 2025

Last Date Appraised: 02/14/2023 Appraiser: MATT LORD Retag: **Y** N Tag info: 2025 - NEW CONSTRUCTION (Residence)

Owner: HEATHER N ALDERMAN RLT Roll Type: R

Cycle: **Tag** Sales Verification Other: _____ Inspection level: 1 **2** 3 4 LCB TTO INSP AV: 638511

RMV Land: 555660 RMV Imp: 1705910 RMV Total: 2261570 MAV: 585260 MSAV: 53251 SAV: 311447

Comment: 23-24: L4 2.14.23 CL
 22-23: L2 1.25.22 CL
 LEVEL 3 01/05/21 #06WV//

USFD 24-005954

Farm Hay
Two homesites

Chris 3/11/25

Notations

No notation data available.

25-26 USFD 80%

OSDs

PRIOR WORKFLOW CLOSED

Count	Code	Description	RMV	Code Area	Exception
1	SAG	SA OSD - GOOD	60000	92590	0

Land

SA OSD - AUB

Site: 1 Code Area: 92590 Size: 46.82 Acres Use Code: 005 Zone: REST SAV Use: 011 Exception: 0
 Class: 4HD Value Source: Farm Use - EFU Description: FOUR HILL DRY RMV: 486030 Exception: Y N

Adjustment(s): VWGR

Fire Patrol: Description:

Comments: Liability year - 1978 / 22-23 REMOVE IRR 19-20: #35 SALES VERIF, NO CHG / 17-18: UPDATE PART TOTALS / 02400210: 01-02; COMBINED LAND SEGS, SAME SOIL CLASS, SAME LIAB YEAR, 31.91 ACRES TOTAL //1-3-07 (GW39): Switching to improved land schedule and deleting PT per Planning approval for NFDs.

Site: 3 Code Area: 92590 Size: 1.00 Acres Use Code: 005 Zone: REST SAV Use: 011 Exception: 0
 Class: 4HD Value Source: Farm Homesite Description: FOUR HILL DRY RMV: 9630 Exception: Y N

Adjustment(s): VWGR

Fire Patrol: Description:

Comments: Liability year - 2022

22-23 REMOVE IRR ADD 1 AC HOMESITE 19-20: #35 SALES VERIF, NO CHG / 17-18: UPDATE PART TOTALS / 02400210: 01-02; COMBINED LAND SEGS, SAME SOIL CLASS, SAME LIAB YEAR, 31.91 ACRES TOTAL //1-3-07 (GW39): Switching to improved land schedule and deleting PT per Planning approval for NFDs.

Improvements - Residence / Manufactured Structures

Bldg: 1 Code Area: 92590 Stat Class: 152 + Year Blt: 2021 Eff Year Blt: 2021 Sq.Ft: 4823 % Complete: 100
 Desc: Multi Story above grade Dimensions: RMV: 1161150

Func Obsc: 100 Econ %: 100 Other %: 100 Exception: 0 Adjust: Adjust RMV: 0

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory	Exception
First Floor	5 +	Finished	4459	3	FB-3/ HB-1	2021	2021	FP - 1, ROOF, BATH+, KIT-, BTH - 1, BATH - 3, HVAC+	Exception: Y N
Attic	5 +	Finished	364	1	0	2021	2021	HVAC+, BATH - 1	Exception: Y N
Garage Attached	5 +	Finished	1313	0	0	2021	2021	ROOF	Exception: Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity	Exception
SWIMMING POOL	5	800	2021	24750	0	Exception: Y N
YARD IMPROVEMENTS EXCELLENT	5	0	2021	77270	1	Exception: Y N

Bldg: 2 Code Area: 92590 Stat Class: 158 Year Blt: 2021 Eff Year Blt: 2021 Sq.Ft: 1540 % Complete: 100
 Desc: Res other improvements Dimensions: RMV: 544760

Func Obsc: 100 Econ %: 100 Other %: 100 Exception: 0 Adjust: Adjust RMV: 0

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory	Exception
Second Floor	5	Finished	1540	0	FB-1	2021	2021	BATH - 1	Exception: Y N
Garage Oversized Detached	5	Unfinished	3780	0	HB-1	2021	2021	BTH - 1, ROOF	Exception: Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity
No accessory data available					

Bldg: 3 Code Area: 92590 Stat Class: 152 Year Blt: 2024 Eff Year Blt: 2025 Sq.Ft: 2778 % Complete: 100
 Desc: Multi Story above grade Dimensions: RMV: 0

Func Obsc: 100 Econ %: 100 Other %: 100 Exception: 0 Adjust: Adjust RMV: 0

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory	Exception: Y N
First Floor	5	Finished	2778	4	FB-2/ HB-1	2024	2025	BATH+, BTH - 1, BATH - 2, FP - 1, KIT+, ROOF, HVAC+	Exception: Y N
Attic	5	Unfinished	4183	0	0	2024	2025	80% complete	Exception: Y N
Garage Attached	5	Finished	714	0	0	2024	2025	ROOF	Exception: Y N
Garage Attached	5	Finished	288	0	0	2024	2025		Exception: Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity
No accessory data available					

Improvements - Accessory Buildings

No improvement data available for all other stat class types.



1/7/25

ACCOUNT # 530064 DATE: 1/7/25 RMV CLASS _____ PROP CLASS _____
 MTL _____ APPR _____ TAG Y N _____
 COMMENTS: _____

RESIDENCE / MANUFACTURED STRUCTURES

ACCESSORY IMPROVEMENTS / OUTBUILDINGS

STAT 152 QLTY + - FLOOR MA
 AREA 2778 EFF AREA 2778 BED 3
 ROOF + HVAC + 2.5+
 BATH PKG: _____ BATH _____ BATH + _____ 1/2 BTH
 FIREPLACE: 1
 KITCHEN - +
 YR BLT 2024 EFF YR 2024 ECON _____
 % COMP 80 % GOOD _____ FUNC _____
 EXCEPT Y N LUMP SUM: _____
 MISC: _____
 YI CLASS _____ F G A E
 SKIRT + LIN FT _____
 COMMENT: _____

TYPE ABF
 STAT / CLASS 151
 SIZE 714
 FAIR
AVERAGE
 GOOD
 EXCELLENT
 BATH _____
 YR BLT 2024
 EFF YR 2024
 % COMP 80
 EXCEPT Y N
 MISC: _____
 COMMENT: _____

TYPE ABF
 STAT / CLASS 151
 SIZE 288
 FAIR
AVERAGE
 GOOD
 EXCELLENT
 BATH _____
 YR BLT 2024
 EFF YR 2024
 % COMP 80
 EXCEPT Y N
 MISC: _____
 COMMENT: _____

STAT _____ QLTY + - FLOOR _____
 AREA _____ EFF AREA _____ BED _____
 ROOF + HVAC +
 BATH PKG: _____ BATH _____ BATH + _____ 1/2 BTH
 FIREPLACE: _____
 KITCHEN - +
 YR BLT _____ EFF YR _____ ECON _____
 % COMP _____ % GOOD _____ FUNC _____
 EXCEPT Y N LUMP SUM: _____
 MISC: _____
 YI CLASS _____ F G A E
 SKIRT + LIN FT _____
 COMMENT: _____

TYPE _____
 STAT / CLASS _____
 SIZE _____
 FAIR
 AVERAGE
 GOOD
 EXCELLENT
 BATH _____
 YR BLT _____
 EFF YR _____
 % COMP _____
 EXCEPT Y N
 MISC: _____
 COMMENT: _____

TYPE _____
 STAT / CLASS _____
 SIZE _____
 FAIR
 AVERAGE
 GOOD
 EXCELLENT
 BATH _____
 YR BLT _____
 EFF YR _____
 % COMP _____
 EXCEPT Y N
 MISC: _____
 COMMENT: _____

STAT _____ QLTY + - FLOOR _____
 AREA _____ EFF AREA _____ BED _____
 ROOF + HVAC +
 BATH PKG: _____ BATH _____ BATH + _____ 1/2 BTH
 FIREPLACE: _____
 KITCHEN - +
 YR BLT _____ EFF YR _____ ECON _____
 % COMP _____ % GOOD _____ FUNC _____
 EXCEPT Y N LUMP SUM: _____
 MISC: _____
 YI CLASS _____ F G A E
 SKIRT + LIN FT _____
 COMMENT: _____

TYPE _____
 STAT / CLASS _____
 SIZE _____
 FAIR
 AVERAGE
 GOOD
 EXCELLENT
 BATH _____
 YR BLT _____
 EFF YR _____
 % COMP _____
 EXCEPT Y N
 MISC: _____
 COMMENT: _____

TYPE _____
 STAT / CLASS _____
 SIZE _____
 FAIR
 AVERAGE
 GOOD
 EXCELLENT
 BATH _____
 YR BLT _____
 EFF YR _____
 % COMP _____
 EXCEPT Y N
 MISC: _____
 COMMENT: _____

Percent Complete Form

Account # _____

Additions

New Homes

		No Basement		Basement	
% Item	% Sum	% Item	% Sum	% Item	% Sum
3%		Plans/Survey	3%		3%
2%	0%	Excavation	2%	0%	4%
3%		Foundation	3%		10%
35%	45%	Framing	14%	20%	16%
8%	50%	Trusses	7%	30%	7%
7%	60%	Roofing	7%	35%	7%
7%	65%	Windows/Ext Doors	7%	45%	6%
5%	70%	Siding	5%	50%	5%
4%	75%	Plumbing Rough-In	4%		3%
3%		Electrical Rough-In	3%	55%	2%
2%	80%	Heating Rough-In	2%		1%
		Heating Unit	1%	60%	1%
3%		Insulation	3%		2%
5%	85%	Drywall (Finished)	5%	65%	4%
2%	90%	Paint Interior	2%	70%	2%
2%		Paint Exterior	2%		2%
		Cabinets	6%	75%	5%
2%		Electrical Fixtures	3%	80%	2%
2%	95%	Plumbing Fixtures	4%	85%	3%
3%		Floor Coverings & Countertops	7%	90%	6%
2%	100%	Interior Trim Carpentry	7%	95%	6%
		Porch/Entry/Stoop	2%	100%	2%
		Finish Grade	1%		1%

APPR _____ Date 1/7/25 YR For 25-26 % COMP 80%
 APPR _____ Date _____ YR For _____ % COMP _____
 APPR _____ Date _____ YR For _____ % COMP _____
 APPR _____ Date _____ YR For _____ % COMP _____

Percent Complete Form

Account # _____

Gut & Remodels

Interior Trim Carpentry	7%	90%
Floor Coverings & Countertops	7%	85%
Plumbing Fixtures	4%	80%
Electrical Fixtures	3%	80%
Cabinets	6%	75%
Drywall (Finished)	5%	70%
Insulation	3%	65%

APPR _____ Date _____ YR For _____ % COMP _____
 APPR _____ Date _____ YR For _____ % COMP _____
 APPR _____ Date _____ YR For _____ % COMP _____
 APPR _____ Date _____ YR For _____ % COMP _____

Outbuilding Type: _____

	% Item	% Sum
Excavation/Foundation	10%	40%
Floor - Concrete/Wood	30%	
Walls - Framing	10%	65%
Walls - Covering/Siding	15%	
Roof - Framing/Trusses	15%	
Roof - Sheathing	5%	95%
Roof - Cover	10%	
Doors & Windows	5%	100%

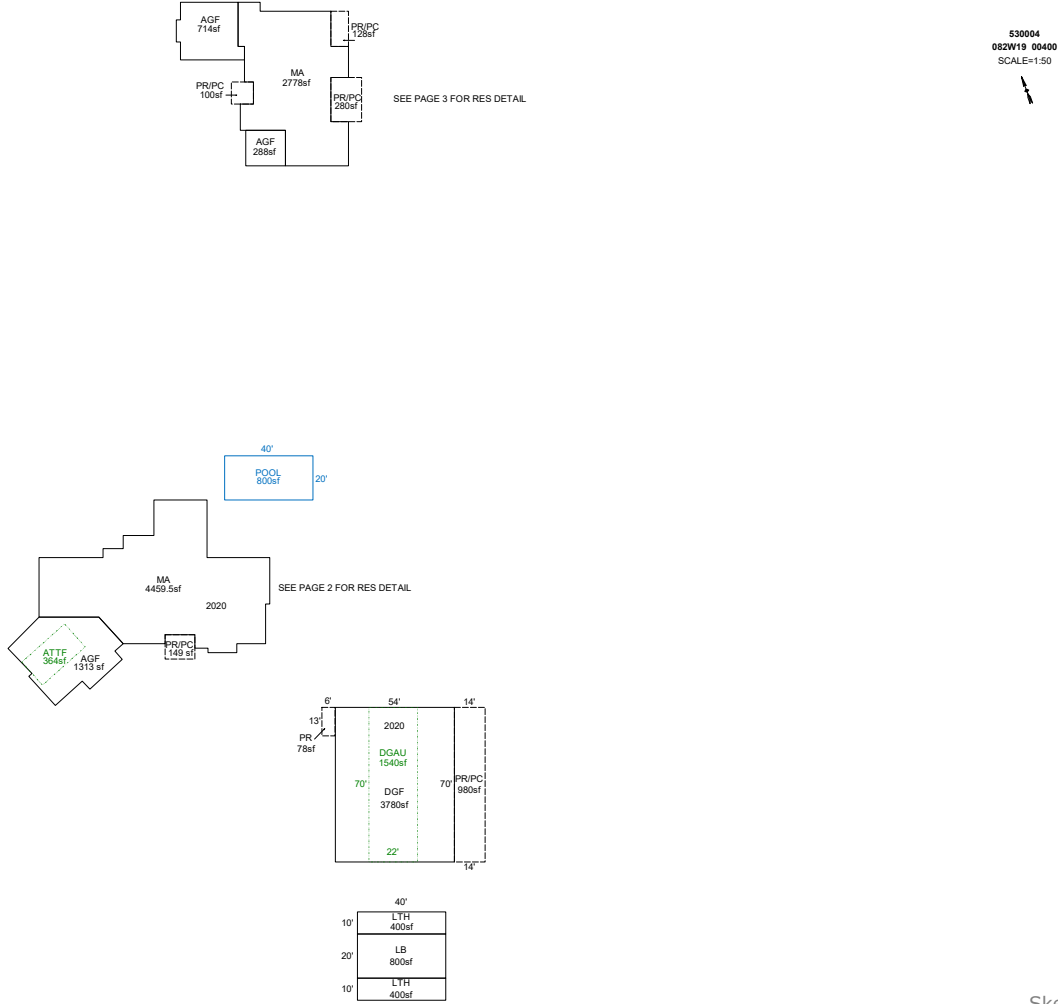
APPR _____ Date _____ YR For _____ % COMP _____
 APPR _____ Date _____ YR For _____ % COMP _____
 APPR _____ Date _____ YR For _____ % COMP _____
 APPR _____ Date _____ YR For _____ % COMP _____

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: Salem County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GBA1	LTH	1.0	400.0	100.0	1600.0
	LB	1.0	800.0	120.0	
	LTH	1.0	400.0	100.0	
GLA1	MA	1.0	4459.5	348.3	7237.5
	MA	1.0	2778.0	276.0	
GAR	AGF	1.0	714.0	114.0	6094.8
	AGF	1.0	288.0	68.0	
	AGF	1.0	1312.8	150.4	
	DGF	1.0	3780.0	248.0	
GAR2	DGAU	1.0	1540.0	184.0	1904.0
	ATTF	1.0	364.0	80.0	
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	980.0	168.0	
	PR	1.0	78.0	38.0	
	PR/PC	1.0	148.5	49.0	
	PR/PC	1.0	100.0	40.0	
	2 addl items				
	Net LIVABLE	cnt	0 (rounded)		7,238
	Net BUILDING	cnt	3 (rounded)		1,600

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022
 UPDATED BY CLOBERG 10/03/24 24-005954 MA
 UPDATED BY CLOBERG 02/12/25
 UPDATED BY CLOBERG 03/19/25

COMMENT TABLE 2

MDL 01/07/25

COMMENT TABLE 3

TAGS L2

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

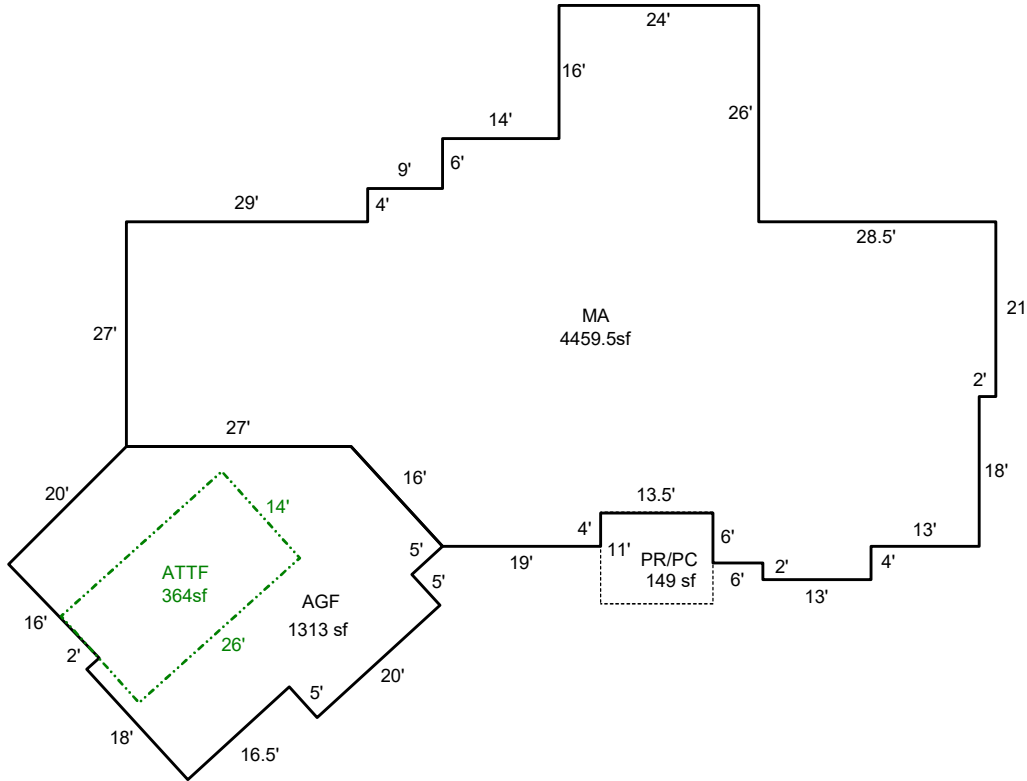
File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: Salem County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

530004
082W19 00400
 SCALE=1:20



SEE PAGE 1 FOR ALL BLDGS



Sketch by ApexSketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	4459.5	348.3	4459.5
GAR	AGF	1.0	1312.8	150.4	1312.8
GAR2	ATTF	1.0	364.0	80.0	364.0
P/P	PR/PC	1.0	148.5	49.0	148.5

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022
 UPDATED BY CLOBERG 10/03/24 24-005954 MA
 UPDATED BY CLOBERG 02/12/25
 UPDATED BY CLOBERG 03/19/25

COMMENT TABLE 2

MDL 01/07/25

COMMENT TABLE 3

TAGS L2

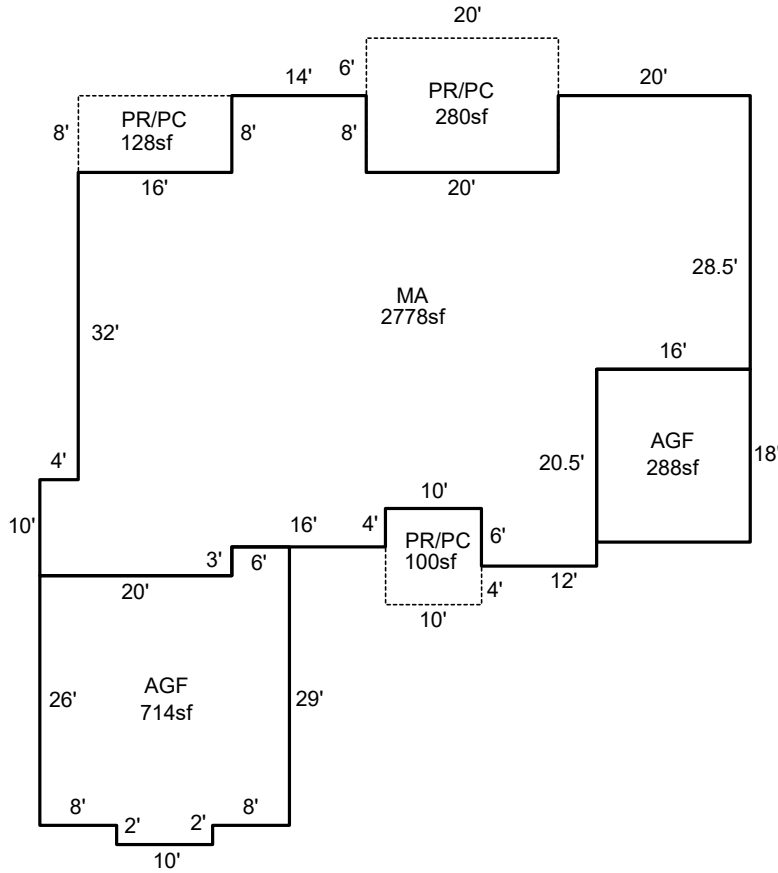
Net LIVABLE cnt 0 (rounded) 4,460

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: Salem County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	2778.0	276.0	2778.0
GAR	AGF	1.0	288.0	68.0	
	AGF	1.0	714.0	114.0	1002.0
P/P	PR/PC	1.0	280.0	68.0	
	PR/PC	1.0	100.0	40.0	
	PR/PC	1.0	128.0	48.0	508.0

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022
 UPDATED BY CLOBERG 10/03/24 24-005954 MA
 UPDATED BY CLOBERG 02/12/25
 UPDATED BY CLOBERG 03/19/25

COMMENT TABLE 2

MDL 01/07/25

COMMENT TABLE 3

TAGS L2

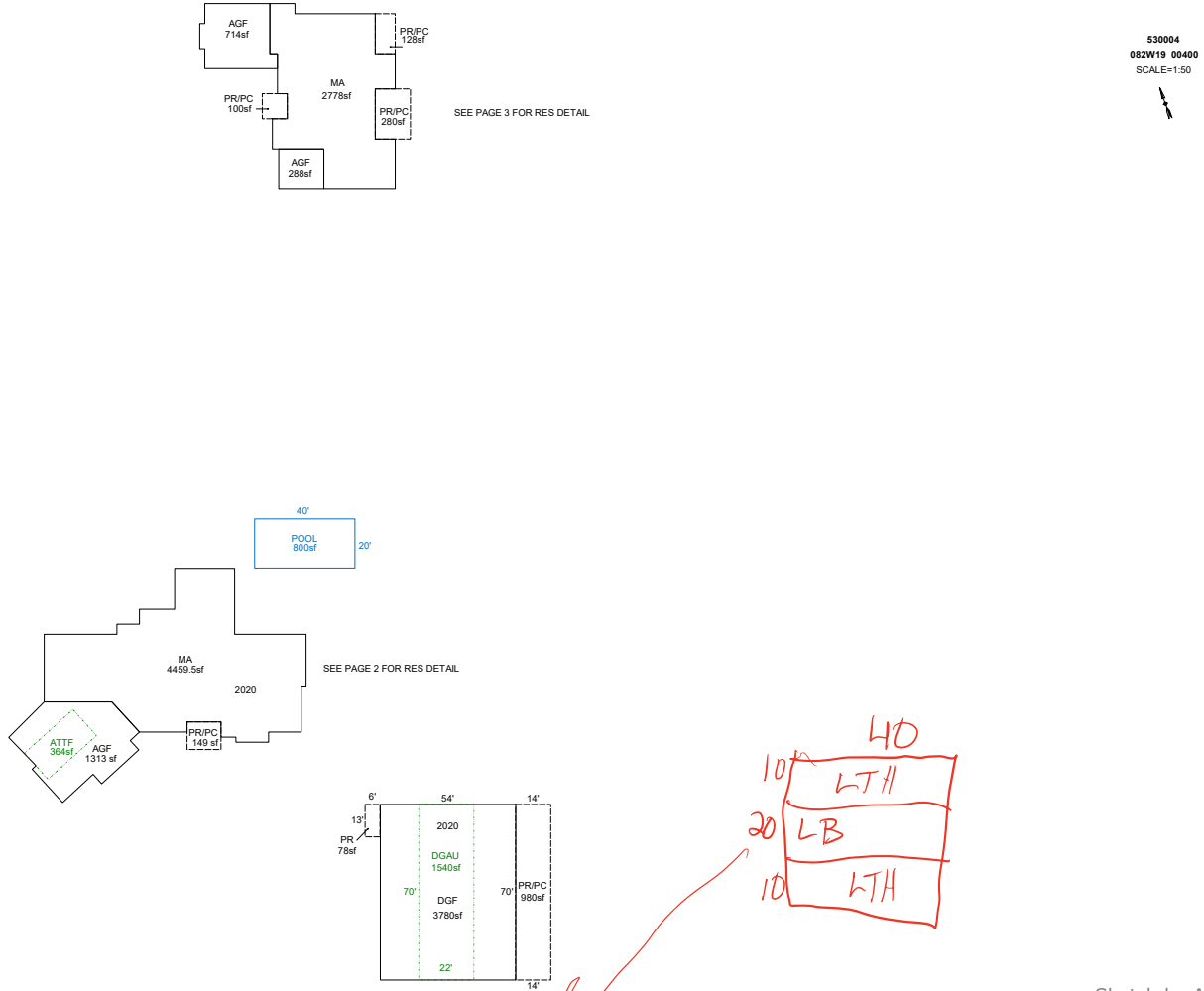
Net LIVABLE cnt 0 (rounded) 2,778

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: Salem County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



Sketch by ApexSketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	2778.0	276.0	
	MA	1.0	4459.5	348.3	7237.5
GAR	AGF	1.0	1312.8	150.4	
	DGF	1.0	3780.0	248.0	
	AGF	1.0	714.0	114.0	
	AGF	1.0	288.0	68.0	6094.8
GAR2	ATTF	1.0	364.0	80.0	
	DGAU	1.0	1540.0	184.0	1904.0
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	148.5	49.0	
	PR/PC	1.0	980.0	168.0	
	PR	1.0	78.0	38.0	
	PR/PC	1.0	100.0	40.0	
	PR/PC	1.0	128.0	48.0	
	PR/PC	1.0	280.0	68.0	1714.5
	Net LIVABLE	cnt	0 (rounded)		7,238

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022
 UPDATED BY CLOBERG 10/03/24 24-005954 MA
 UPDATED BY CLOBERG 02/12/25

COMMENT TABLE 2

MDL 01/07/25

COMMENT TABLE 3

TAGS L2

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

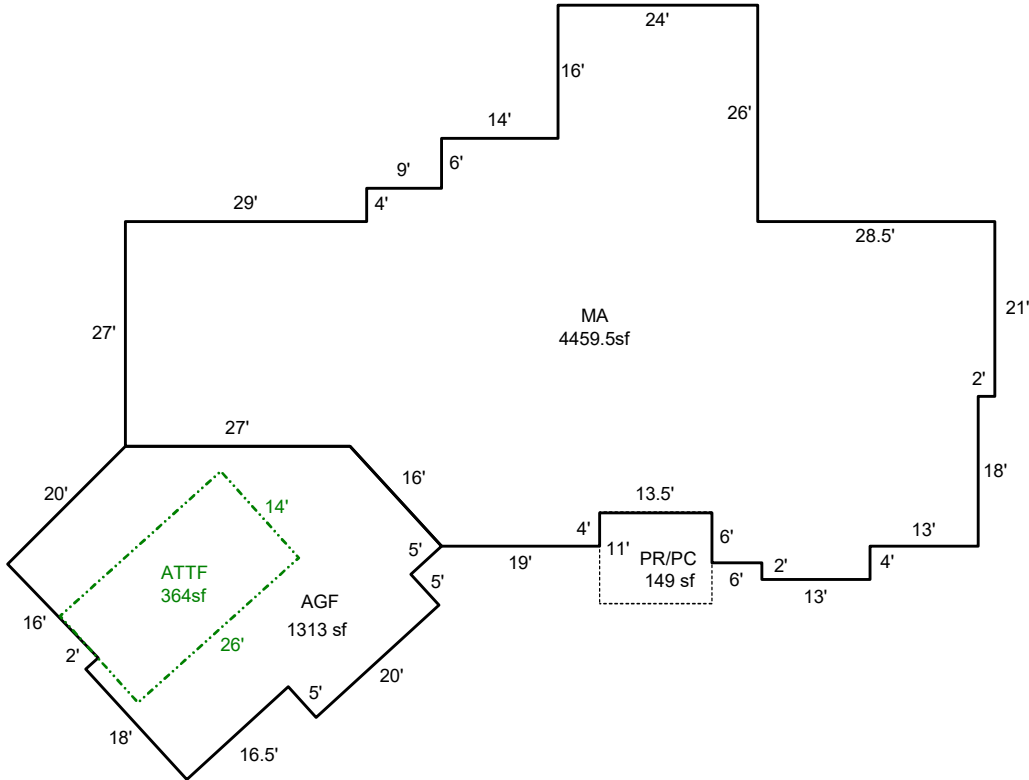
File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: Salem County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

530004
082W19 00400
 SCALE=1:20



SEE PAGE 1 FOR ALL BLDGS



Sketch by ApexSketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	4459.5	348.3	4459.5
GAR	AGF	1.0	1312.8	150.4	1312.8
GAR2	ATTF	1.0	364.0	80.0	364.0
P/P	PR/PC	1.0	148.5	49.0	148.5

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022
 UPDATED BY CLOBERG 10/03/24 24-005954 MA
 UPDATED BY CLOBERG 02/12/25

COMMENT TABLE 2

MDL 01/07/25

COMMENT TABLE 3

TAGS L2

Net LIVABLE cnt 0 (rounded) 4,460

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

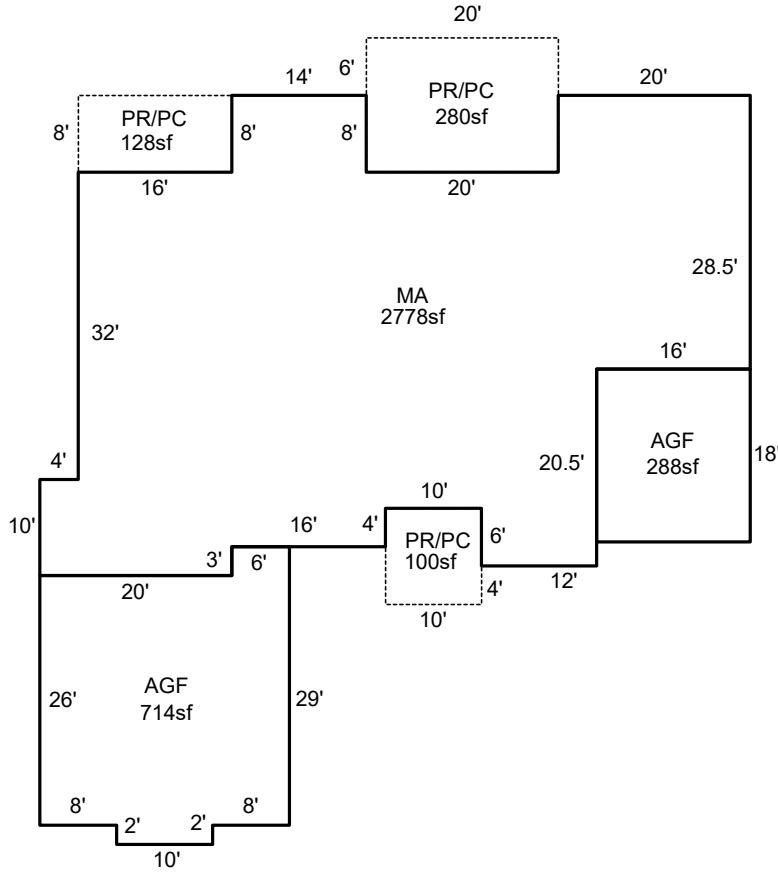
File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: Salem County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

530004
082W19 00400
 SCALE=1:20



SEE PAGE 1 FOR ALL BLDGS



Sketch by ApexSketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	2778.0	276.0	2778.0
GAR	AGF	1.0	288.0	68.0	
	AGF	1.0	714.0	114.0	1002.0
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	PR/PC	1.0	100.0	40.0	
	PR/PC	1.0	128.0	48.0	508.0

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
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 UPDATED BY CLOBERG 02/12/25

COMMENT TABLE 2

MDL 01/07/25

COMMENT TABLE 3

TAGS L2

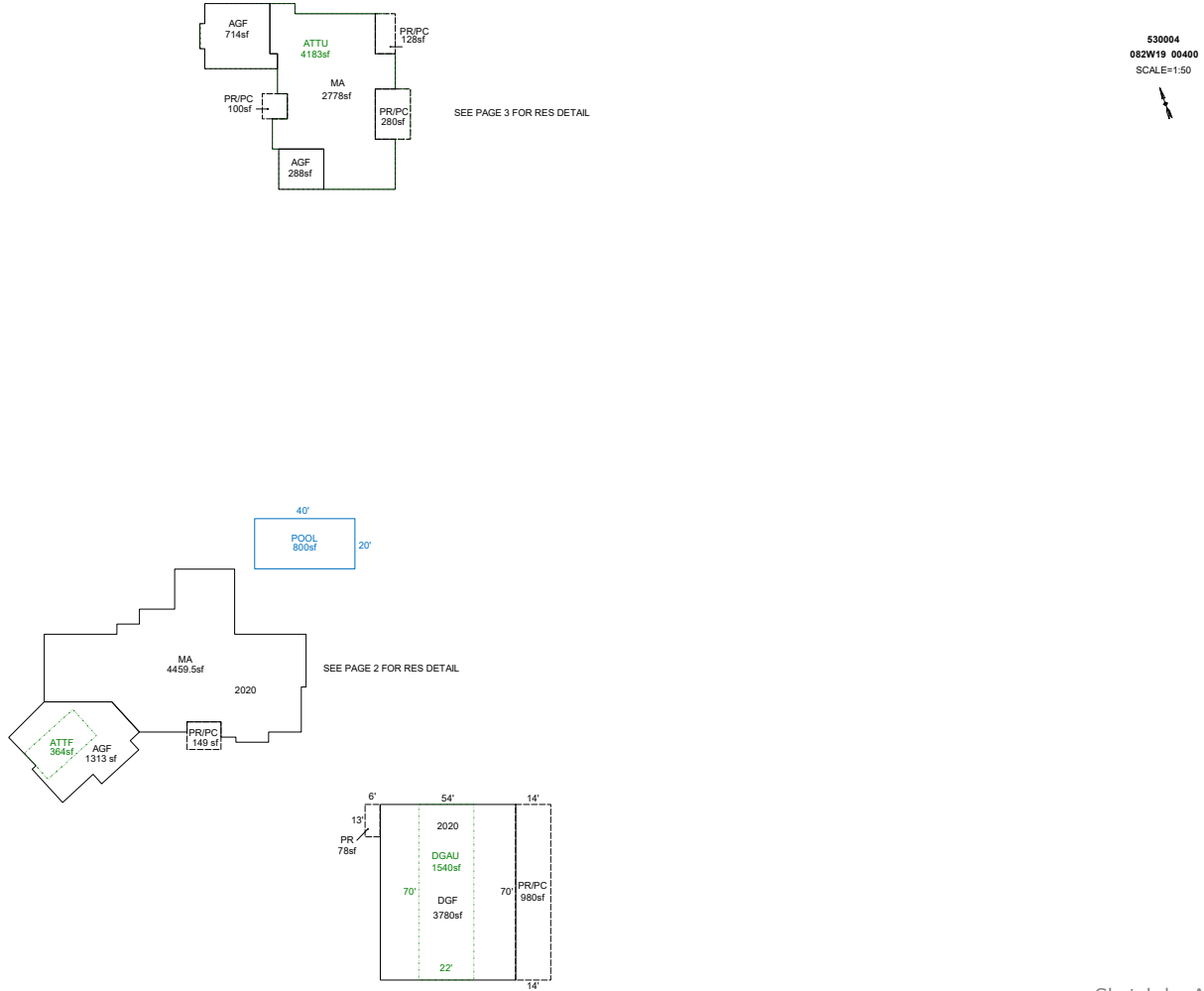
Net LIVABLE cnt 0 (rounded) 2,778

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: Salem County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



Sketch by ApexSketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	2778.0	276.0	
	MA	1.0	4459.5	348.3	7237.5
GLA2	ATTU	1.0	4183.0	327.0	4183.0
GAR	AGF	1.0	1312.8	150.4	
	DGF	1.0	3780.0	248.0	
	AGF	1.0	714.0	114.0	
	AGF	1.0	288.0	68.0	6094.8
GAR2	ATTF	1.0	364.0	80.0	
	DGAU	1.0	1540.0	184.0	1904.0
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	148.5	49.0	
	PR/PC	1.0	980.0	168.0	
	PR	1.0	78.0	38.0	
	PR/PC	1.0	100.0	40.0	
	PR/PC	1.0	128.0	48.0	
	PR/PC	1.0	280.0	68.0	1714.5
	Net LIVABLE	cnt	3	(rounded)	11,421

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022
 UPDATED BY CLOBERG 10/03/24 24-005954 MA

COMMENT TABLE 2

COMMENT TABLE 3

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

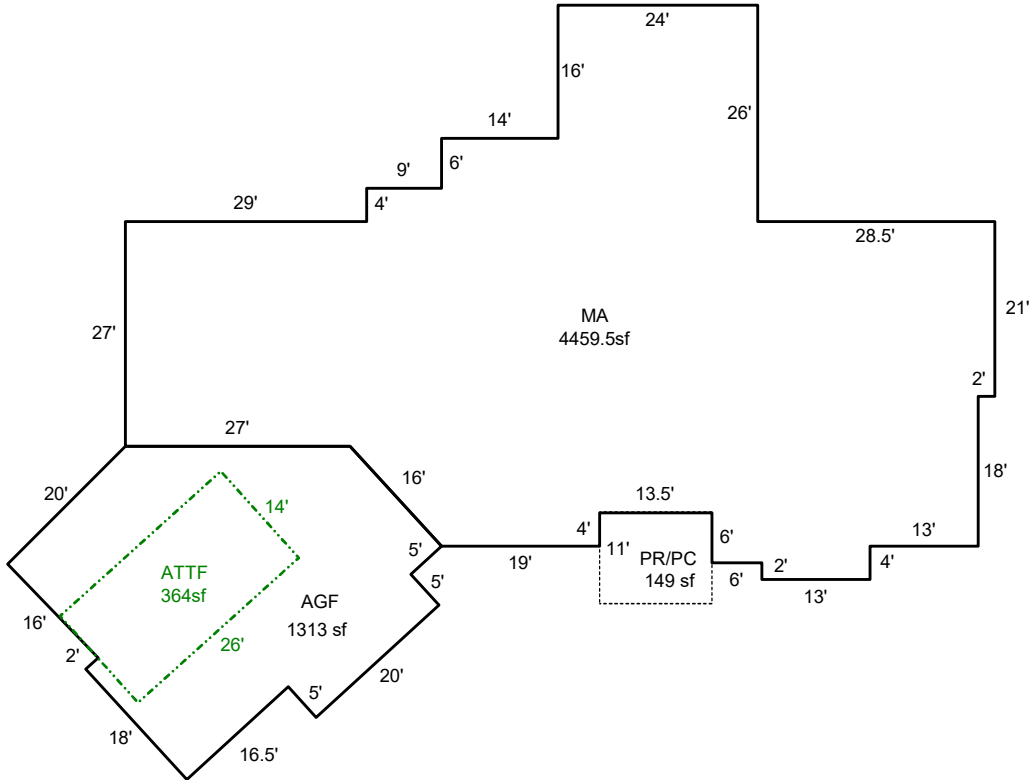
File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: Salem County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
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SKETCH

530004
082W19 00400
 SCALE=1:20



SEE PAGE 1 FOR ALL BLDGS



Sketch by ApexSketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	4459.5	348.3	4459.5
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GAR2	ATTF	1.0	364.0	80.0	364.0
P/P	PR/PC	1.0	148.5	49.0	148.5

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022
 UPDATED BY CLOBERG 10/03/24 24-005954 MA

COMMENT TABLE 2

COMMENT TABLE 3

Net LIVABLE cnt 1 (rounded) 4,460

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

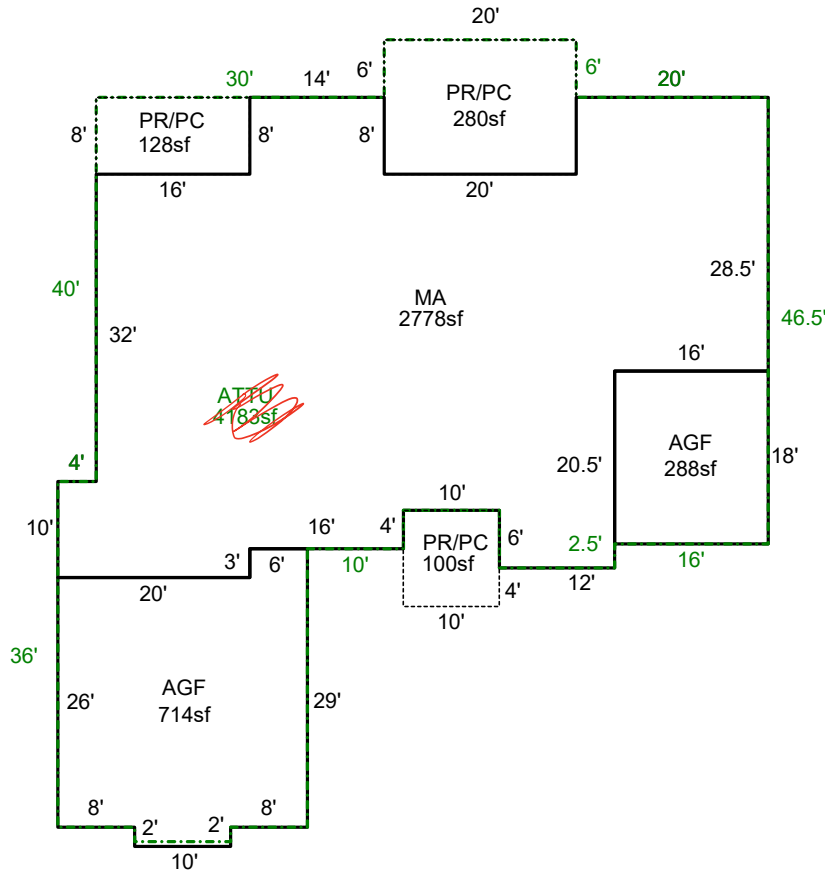
File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: Salem County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

530004
082W19 00400
 SCALE=1:20



SEE PAGE 1 FOR ALL BLDGS



Remove ATTU
 1/7/25 / h2 / MDL

Sketch by ApexSketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	2778.0	276.0	2778.0
GLA2	ATTU	1.0	4183.0	327.0	4183.0
GAR	AGF	1.0	288.0	68.0	
	AGF	1.0	714.0	114.0	1002.0
P/P	PR/PC	1.0	280.0	68.0	
	PR/PC	1.0	100.0	40.0	
	PR/PC	1.0	128.0	48.0	508.0

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022
 UPDATED BY CLOBERG 10/03/24 24-005954 MA

COMMENT TABLE 2

COMMENT TABLE 3

Net LIVABLE cnt 2 (rounded) 6,961



**530004 DGOF E End N Side
2022-01-25 L2**



**530004 DGOF W End N Side
2022-01-25 L2**



**530004 MA Front- (1)
2022-01-25 L2**



**530004 14x70 PRA
2022-01-25 L2**



**530004 DGOF N Side W End
2022-01-25 L2**



**530004 MA E End
2022-01-25 L2**



**530004 Water Feature
2022-01-25 L2**



**530004 DGOF N Side E End
2022-01-25 L2**



**530004 DGOF W End S Side
2022-01-25 L2**



530004 MA Front- (4)
2022-01-25 L2



530004 MA Rear- (1)
2022-01-25 L2



530004 MA Rear- (4)
2022-01-25 L2



530004 MA Front- (3)
2022-01-25 L2



530004 MA Front- (6)
2022-01-25 L2



530004 MA Rear- (3)
2022-01-25 L2



530004 MA Front- (2)
2022-01-25 L2



530004 MA Front- (5)
2022-01-25 L2



530004 MA Rear- (2)
2022-01-25 L2



530004 SP- (2)
2022-01-25 L2



530004 W to N View- (3)
2022-01-25 L2



530004 W to N View- (6)
2022-01-25 L2



530004 SP- (1)
2022-01-25 L2



530004 W to N View- (2)
2022-01-25 L2



530004 W to N View- (5)
2022-01-25 L2



530004 MA Rear- (5)
2022-01-25 L2



530004 W to N View- (1)
2022-01-25 L2



530004 W to N View- (4)
2022-01-25 L2

Summary

Acct ID: 530004 MTL: 082W190000400 Date: _____ Appr: ~~MBL~~ Prop Class: 551 RMV Prop Class: 551
 Situs: _____ MaSaNh: 07 06 000 ~~E~~ Unit: 26479 Year: 2022
 Owner: ALDERMAN, JEREMY **2-14-23** **Chris 5/2/23** Roll Type: R **2023**
 Cycle **Tag** Permits Sales Verification Other: _____ Inspection level: 1 2 3 4 LCB TTO INSP PICT MLS AV: 1923936
 RMV Land: 823100 RMV Imp: 1874210 RMV Total: 2697310 MAV: 0 MSAV: 49726 SAV: 78127
 Comment: 22-23: L2 1.25.22 CL **NC TO ACCT, THIS 2021 CLASS 5 HOULD NOT CHANGED TO**
 LEVEL 3 01/05/21 #06WV// **SHOP STORAGE I BELIEVE PLANNING**

Notations ~~21-010300 Change of use house to shop/storage (Final)~~ **Wrong account** **FIND SOME INTERNAL FINISH IN DGF/DGAV AND**
 No notation data available. **MADE THEM CHANGE IF RUN TRG**

Count	Code	Description	RMV	Code Area	Exception
1	SAG	SA OSD - GOOD	50000	92590	0

Land
 Code Area: 92590 Site: 1 Size: 46.82 Acres Use Code: 005 Zone: SA SAV Use: 011 Exception: 0
 Class: 4HD Description: FOUR HILL DRY RMV: 757670
 Adjustment(s): 07IMP, VWGR Fire Patrol: Description:
 Comments: 22-23 REMOVE IRR 19-20: #35 SALES VERIF, NO CHG / 17-18: UPDATE PART TOTALS / 02400210: 01-02; COMBINED LAND SEGS, SAME SOIL CLASS, SAME LIAB YEAR, 31.91 ACRES TOTAL //1-3-07 (GW39): Switching to improved land schedule and deleting PT per Planning approval for NFDs.

Code Area: 92590 Site: 3 Size: 1.00 Acres Use Code: 005 Zone: SA SAV Use: 011 Exception: 0
 Class: 4HD Description: FOUR HILL DRY RMV: 15430
 Adjustment(s): 07IMP, VWGR Fire Patrol: Description:
 Comments: Liability year - 2022
 22-23 REMOVE IRR ADD 1 AC HOMESITE 19-20: #35 SALES VERIF, NO CHG / 17-18: UPDATE PART TOTALS / 02400210: 01-02; COMBINED LAND SEGS, SAME SOIL CLASS, SAME LIAB YEAR, 31.91 ACRES TOTAL //1-3-07 (GW39): Switching to improved land schedule and deleting PT per Planning approval for NFDs.

Improvements - Residence / Manufactured Structures

Imp ID: 372401 Bldg 1 Code Area: 9259 Year Blt: 2021 Eff Year Blt: 2021 Dimensions: % Complete: 100
 Stat Class: 152 + Desc: Multi Story above grade Sq.Ft: 4823 RMV: 1196760
 Func Obsc: 100 Econ %: 100 Other %: 100 Exception: 1196760 Adjust: Adjust RMV: 0

Floors

Type	Finished SqFt	Low Cost SqFt	Unfinished SqFt	Beds	Baths	Class	Yr Blt	Eff Yr Blt	Inventory
First Floor	4459	0	0	3	FB-3/HB-1	5 +	2021	2021	ARCMP, GABLE, AC, BATH - 3, BTH - 1, RNG, ZROCL, H&F, DW, GRDTB
Attic	364	0	0	1	HB-0	5 +	2021	2021	AC, BATH - 1
Garage Attached	1313	0	0	0		5 +	2021	2021	ARCMP, GABLE

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity
PORCH ROOF - GOOD	5	149	2021	5460	0
PORCH ROOF - GOOD	5	546	2021	20010	0
STAMPED CONCRETE	5	149	2021	2086	0
STAMPED CONCRETE	5	546	2021	7644	0

Imp ID: 372402 Bldg 2 Code Area: 9259 Year Blt: 2021 Eff Year Blt: 2021 Dimensions: % Complete: 100
 Stat Class: 158 Desc: Res other improvements Sq.Ft: 1540 RMV: 677450
 Func Obsc: 100 Econ %: 100 Other %: 100 Exception: 677450 Adjust: Adjust RMV: 0

Floors

Type	Finished SqFt	Low Cost SqFt	Unfinished SqFt	Beds	Baths	Class	Yr Blt	Eff Yr Blt	Inventory
Garage Oversized Detached	0	0	3780	0	HB-1	5	2021	2021	B&B, ARCMP, GABLE, BTH - 1
Second Floor	1540	0	0	0	FB-1	5	2021	2021	BATH - 1

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity
CONCRETE DRIVEWAY	5	980	2021	3185	0
PORCH ROOF - AVERAGE	5	980	2021	28420	0
PORCH ROOF - GOOD	5	78	2021	2858	0
PORCH ROOF - GOOD	5	980	2021	35917	0
STAMPED CONCRETE	5	78	2021	1092	0

Improvements - Accessory Buildings

No improvement data available for all other stat class types.

Comments: _____

Segment: _____ Class: _____ Area: _____

Stat Class: _____ Effective Area: _____

Roof: ARCMP BLTUP COMP ISHKE METAL ROLL
SHAKE TCLAY TCONC WOOD Other: _____

Plumbing: _____ JTTUB GRDTB

Heat: AC BB CEIL FA H-WTR HP ZONAL ST SC

Fireplace: DBLE DBLP ECLVE ECLVP HRTHE HRTHP
PREFE PREFP SGLE SGLP ZROCL

Interior Components: CKTP CKTPE CRNG DSP DW H&F
OVEND/S MICRO RNG TRASH Other: _____

Bedrooms: _____ Qty: _____ Year Blt: _____ Eff Yr Blt: _____

% Good: _____ % Complete: _____ Functional: _____

Economic: _____ Exception: _____ Lump Sum: _____

Comments: _____

Interior Walls: PANEL DRYWALL

Skirting: METAL WOOD VINYL FBRGL CBLOCK BRICK

Segment: SP Plumbing: _____

Stat Class: _____ Heat: _____

Class: _____ Electric: _____

Dimension/Size: 20x40 800 Misc.: _____

Foundation: _____ Year Built: 2022

Exterior Wall: _____ Effective Yr Built: _____

Interior Finish: _____ Condition: _____

Roof Cover: _____ % Complete: _____

Roof Style: _____ Lump Sum: _____

Flooring: _____ Exception Code: NEW

50% func

Tag: Y N _____

Segment: _____ Class: _____ Area: _____

Stat Class: _____ Effective Area: _____

Roof: ARCMP BLTUP COMP ISHKE METAL ROLL
SHAKE TCLAY TCONC WOOD Other: _____

Plumbing: _____ JTTUB GRDTB

Heat: AC BB CEIL FA H-WTR HP ZONAL ST SC

Fireplace: DBLE DBLP ECLVE ECLVP HRTHE HRTHP
PREFE PREFP SGLE SGLP ZROCL

Interior Components: CKTP CKTPE CRNG DSP DW H&F
OVEND/S MICRO RNG TRASH Other: _____

Bedrooms: _____ Qty: _____ Yr Blt: _____ Eff Yr Blt: _____

% Good: _____ % Complete: _____ Functional: _____

Economic: _____ Exception: _____ Lump Sum: _____

Comments: _____

Segment: _____ Plumbing: _____

Stat Class: _____ Heat: _____

Class: _____ Electric: _____

Dimension/Size: _____ Misc.: _____

Foundation: _____ Year Built: _____

Exterior Wall: _____ Effective Yr Built: _____

Interior Finish: _____ Condition: _____

Roof Cover: _____ % Complete: _____

Roof Style: _____ Lump Sum: _____

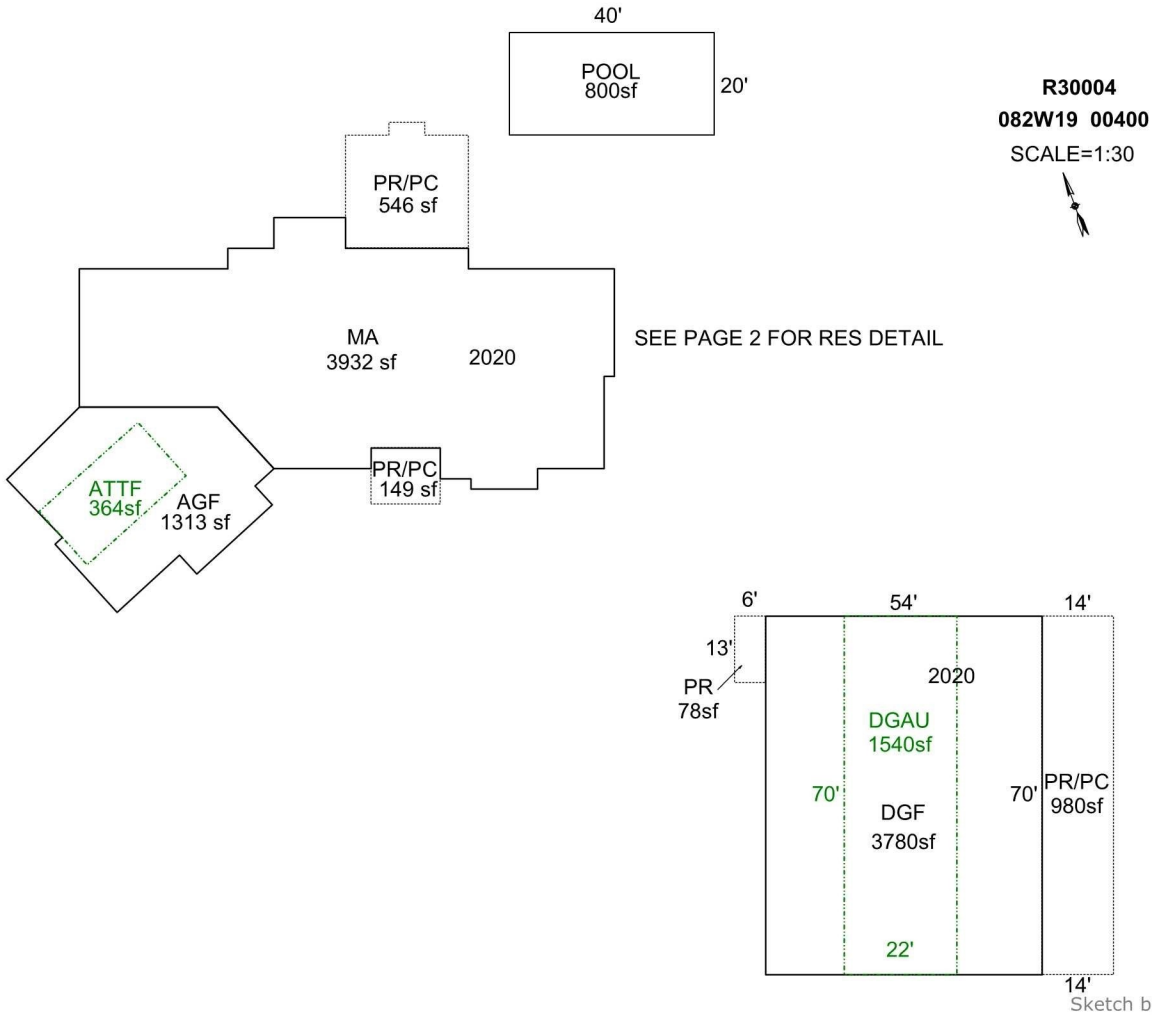
Flooring: _____ Exception Code: _____

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: R30004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: SALEM County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	3931.5	316.3	3931.5
GAR	AGF	1.0	1312.8	150.4	
	DGF	1.0	3780.0	248.0	5092.8
GAR2	ATTF	1.0	364.0	80.0	
	DGAU	1.0	1540.0	184.0	1904.0
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	545.5	97.0	
	PR/PC	1.0	148.5	49.0	
	PR/PC	1.0	980.0	168.0	
	PR	1.0	78.0	38.0	1752.0
	Net LIVABLE	cnt	1 (rounded)		3,932

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950

COMMENT TABLE 2

COMMENT TABLE 3

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

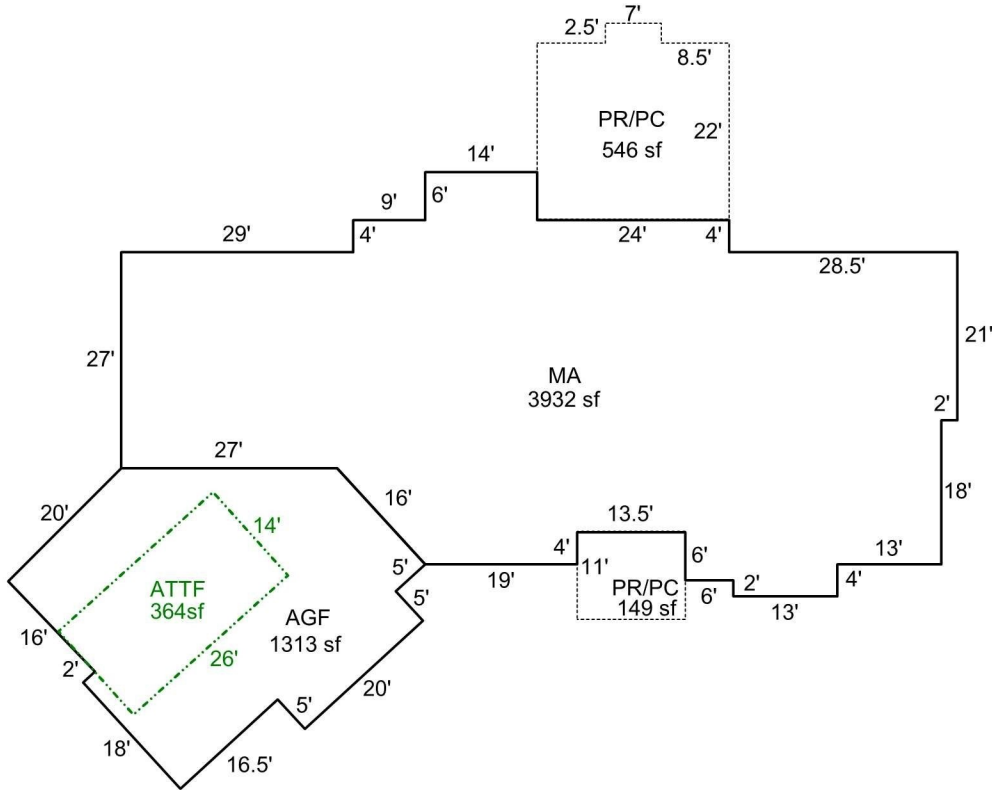
File No.: R30004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: SALEM County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

R30004
082W19 00400
 SCALE=1:20



SEE PAGE 1 FOR ALL BLDGS



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	3931.5	316.3	3931.5
GAR	AGF	1.0	1312.8	150.4	1312.8
GAR2	ATTF	1.0	364.0	80.0	364.0
P/P	PR/PC	1.0	545.5	97.0	
	PR/PC	1.0	148.5	49.0	694.0

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
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COMMENT TABLE 2

COMMENT TABLE 3

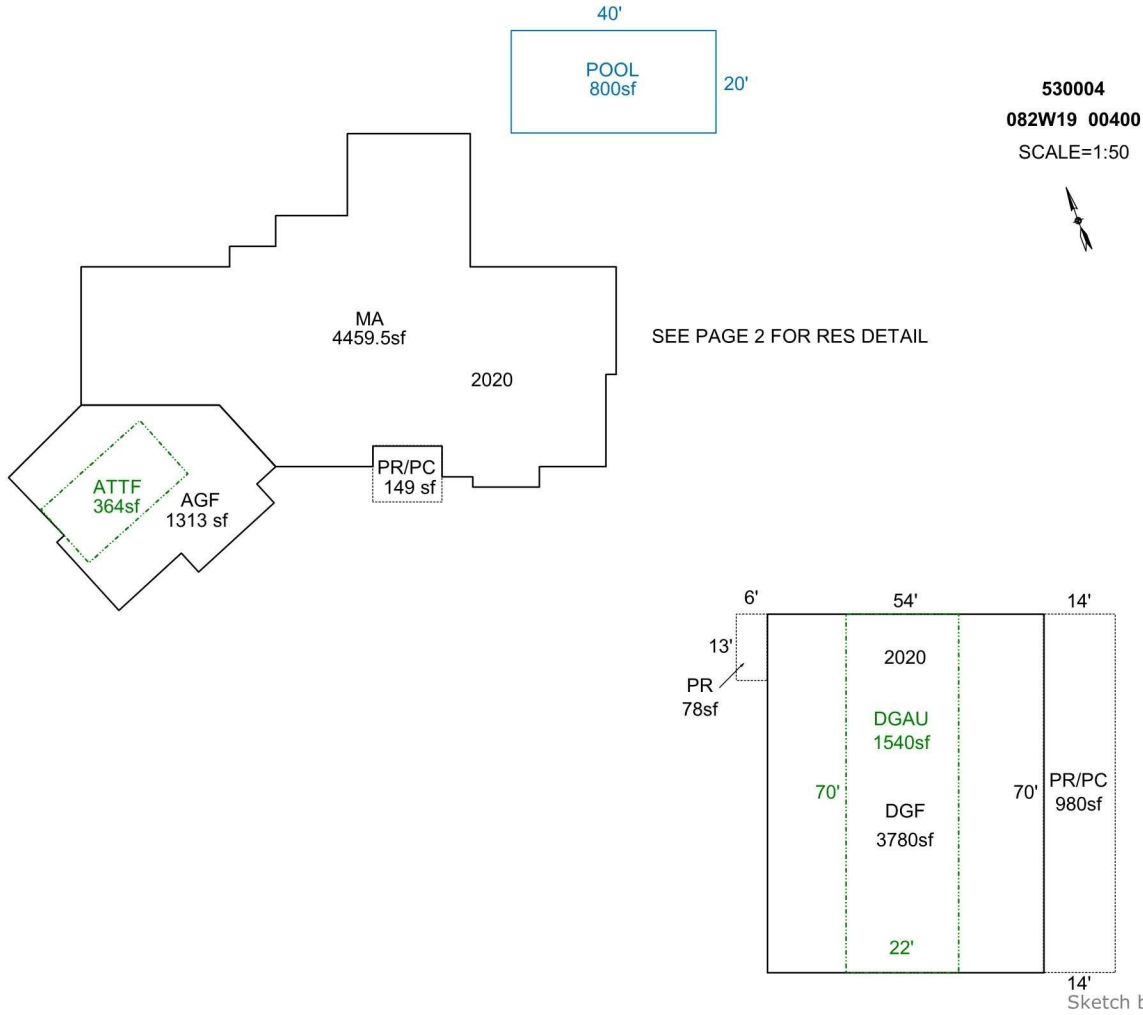
Net LIVABLE cnt 1 (rounded) 3,932

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: SALEM County: State: OR ZipCode: 97317
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 Appraiser Name: Inspection Date:

SKETCH



AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	4459.5	348.3	4459.5
GAR	AGF	1.0	1312.8	150.4	
	DGF	1.0	3780.0	248.0	5092.8
GAR2	ATTF	1.0	364.0	80.0	
	DGAU	1.0	1540.0	184.0	1904.0
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	148.5	49.0	
	PR/PC	1.0	980.0	168.0	
	PR	1.0	78.0	38.0	1206.5
	Net LIVABLE	cnt	1 (rounded)		4,460

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022

COMMENT TABLE 2

COMMENT TABLE 3

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

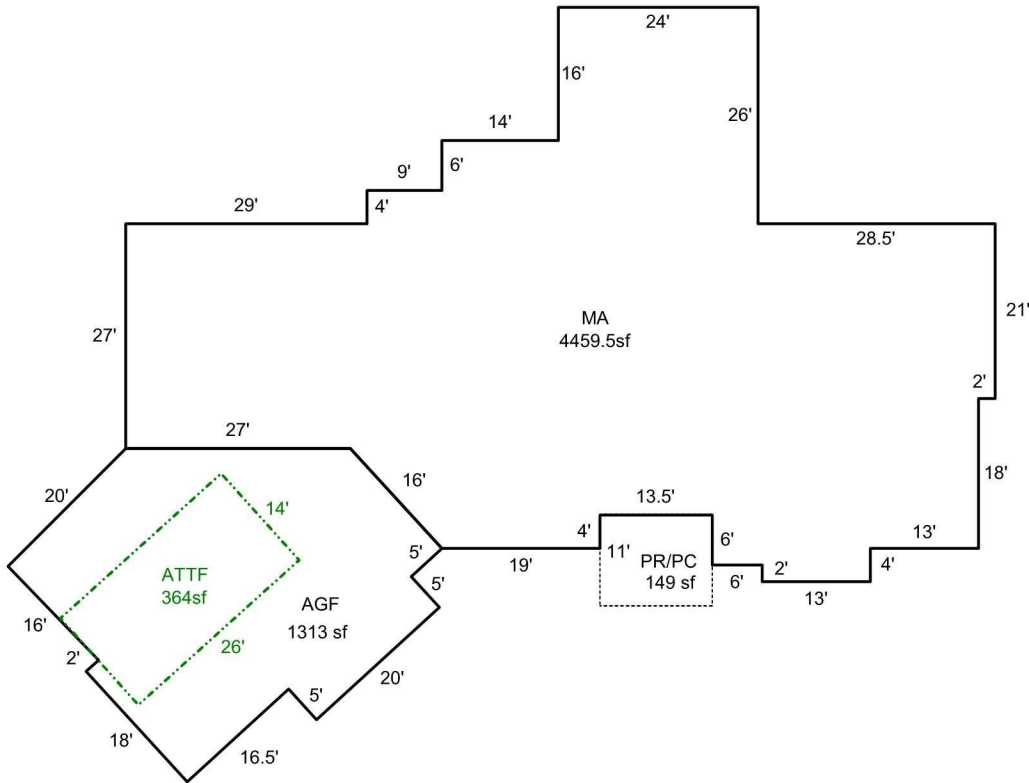
File No.: 530004 Parcel No.: 082W19 00400
 Property Address: 4170 COATES CREST WAY SE
 City: SALEM County: State: OR ZipCode: 97317
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

R30004
082W19 00400
 SCALE=1:20



SEE PAGE 1 FOR ALL BLDGS



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	4459.5	348.3	4459.5
GAR	AGF	1.0	1312.8	150.4	1312.8
GAR2	ATTF	1.0	364.0	80.0	364.0
P/P	PR/PC	1.0	148.5	49.0	148.5

COMMENT TABLE 1

UPD BY PHU 12.24.20: 555-20-005489 & 20-005891
 UPDATED BY CJURAN 07/13/2021 555-21-004950
 UPDATED BY CJURAN 01/26/2022

COMMENT TABLE 2

COMMENT TABLE 3

Net LIVABLE cnt 1 (rounded) 4,460









530004 MA Front- (4)
2022-01-25 L2



530004 MA Rear- (1)
2022-01-25 L2



530004 MA Rear- (4)
2022-01-25 L2



530004 MA Front- (3)
2022-01-25 L2



530004 MA Front- (6)
2022-01-25 L2



530004 MA Rear- (3)
2022-01-25 L2



530004 MA Front- (2)
2022-01-25 L2



530004 MA Front- (5)
2022-01-25 L2



530004 MA Rear- (2)
2022-01-25 L2



530004 SP- (2)
2022-01-25 L2



530004 W to N View- (3)
2022-01-25 L2



530004 W to N View- (6)
2022-01-25 L2



530004 SP- (1)
2022-01-25 L2



530004 W to N View- (2)
2022-01-25 L2



530004 W to N View- (5)
2022-01-25 L2



530004 MA Rear- (5)
2022-01-25 L2



530004 W to N View- (1)
2022-01-25 L2



530004 W to N View- (4)
2022-01-25 L2

Assessor Monthly Issued Permit Report

For 9/1/2024 to 9/30/2024

PERMIT#: 555-24-005954-DWL STATUS: Permit Issued
 PERMIT TYPE: Residential APPLIED: 7/30/2024
 SUB-TYPE: 1 & 2 Fam Dwelling (New Only) ISSUED: 9/12/2024
 CATEGORY: Comprehensive EXPIRES: 3/25/2025

OFFICE: MC

PARCEL#: 082W190000400 530004

ACRES: 47.82

SUBDIV: PP 2024-013

LOT/BLOCK: 1 /

ADDRESS: 4178 COATES CREST WAY SE SALEM, OR 97317

RELATIONSHIP	NAME	ADDRESS	PHONE
APPLICANT	HEATHER N ALDERMAN RLT	4170 COATES CREST WAY SE SALEM, OR 97317	2533070503
CCB	MOUNTAIN VIEW CONSTRUCTION & EXCAVATION LLC	4170 COATS CREST WAY SE SALEM, OR 97317	5039812800
OWNER	HEATHER N ALDERMAN RLT	4170 COATES CREST WAY SE SALEM, OR 97317	

CONST CAT: Single Family Dwelling

WORK TYPE: New

WORK DESC: NSFD 3 BDRM 3 BATH WITH OFFICE AND WORKSHOP (SECONDARY FARM DWELLING)

VALUATION: \$546,805.09

STORIES: 1

BATHS: 3

KITCHENS: 1

SQUARE FEET

HABITABLE:

EXISTING:

NEW:

TOTAL SQ. FT.: 4306

OCCUPANCY	CONSTRUCTION TYPE	SQ FT or # OF SPACES
R-3 1 & 2 family	VB	2812 Sq Ft
U Utility, misc.	VB	1007 Sq Ft
U Utility, misc. - half rate	VB	508 Sq Ft