

Summary

Lead Appr: WW 11/13 Clerk: _____ Lead Clerk: _____ Appr: MSL Inspect 11/12/25 Print Date: 9/26/2025

Acct ID: 606651 MTL: 092W06B003400 Date: 10/7/25 Appr: MSL Prop Class: 401 RMV Prop Class: 401

Situs: 9311 DONALD LN SE TURNER OR 97392 MaSaNh: 07 06 000 Unit: 147235 Year: 2025

Last Date Appraised: 12/27/2024 Appraiser: MATT LORD Tag: Y N Tag info: 2026 - Tags/Permit (Alt Energy System)

Owner: MICHAEL & KERRI SEAMAN LT Last Sales Date: 12/30/2022 Roll Type: R

Cycle Tag Sales Verification Other: _____ Inspection level: 1 2 3 4 LCB TTO INSP AV: 843300

RMV Land: 339620 RMV Imp: 1471340 RMV Total: 1810960 MAV: 700790 MSAV: 0 SAV: 0

Comment: 25-26: L2 MDL 12.27.24 TAG
24-25: L2 MDL 1.3.24 TAG

OSDs

26-27 : Solar 100% complete

Count	Code	Description	RMV	Code Area	Exception
1	MKTG	OSD - GOOD	60000	05590	0

Land

Site: 1 Code Area: 05590 Size: 3.59 Acres Use Code: 004 Zone: NREST SAV Use: Exception: 0

Class: 4HD Value Source: Rural at MKT Description: FOUR HILL DRY RMV: 256080 Exception: Y N

Adjustment(s): GSOIL Fire Patrol: Description:

Comments: 23-24: Disqual STF/DFL

Site: 2 Code Area: 05590 Size: 0.30 Acres Use Code: 004 Zone: NREST SAV Use: Exception: 0

Class: 2HD Value Source: Rural at MKT Description: TWO HILL DRY RMV: 23540 Exception: Y N

Adjustment(s): GSOIL Fire Patrol: Description:

Comments: 24-25 RESET MAV
23-24: Disqual STF/DFL

Liability year - 1975, STF - 2004 / 20-21: #06 CYCLE C19, NO CHG / 16-17: COMB LIKE SEGS // 500190: 02-03: (F)0080: COMBINED R61302 AND R61306, DELETED R61306, SEPE INTO R330154,R330155 / 02-03: REAPP
04-05: ROLLOVER FROM DESIG FOREST TO STF PROGRAM, CHG LAND TYPE FROM DESIG FOREST FCO TO STF C.

Improvements - Residence / Manufactured Structures

Bldg: 1 Code Area: 05590 Stat Class: 152 Year Blt: 2023 Eff Year Blt: 2023 Sq.Ft: 4982 % Complete: 100.00

Desc: Multi Story above grade Dimensions: RMV: 1471340

Func Obsc: 100 Econ %: 100 Other %: 100 Exception: 142510 Adjust: Adjust RMV: 0

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory	
First Floor	5	Finished	3683	2	FB-2	2023	2023	FP - 2, HVAC, KIT+, ROOF, BATH - 2	Exception: Y N
Second Floor	5	Finished	1299	2	FB-1	2023	2023	HVAC, BATH - 1	Exception: Y N
Garage Attached	5	Finished	1605	0	FB-1	2023	2023	ROOF, BATH - 1	Exception: Y N
Garage Oversized Detached	5	Finished	2247	0	FB-1	2023	2023	HVAC, BATH - 1, ROOF	Exception: Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity	
SWIMMING POOL	5	800	2023	50000	1	Exception: Y N
YARD IMPROVEMENTS GOOD	5	0	2023	55750	1	Exception: Y N

Permits

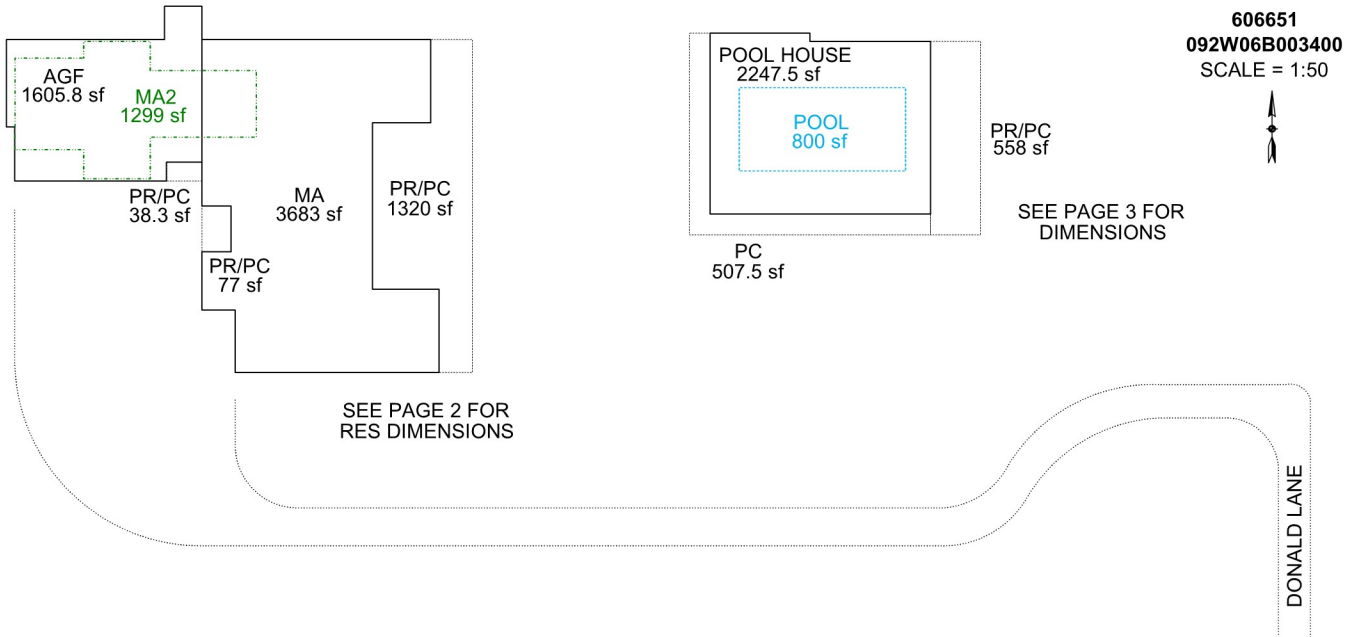
Permit Number	Permit ID	Origin	Category	Type	Estimate Value	% Complete	Roll Type	Description
25-002815	83520	MARION COUNTY	TAGS/PERMITS	ALT ENERGY SYSTEM	33000	0	R	SOLAR ARRAY 20kW ON POOL HOUSE ROOF @ \$33,000

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 606651 Parcel No.: 092W06B003400
 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GBA1	POOL HOUSE	1.0	2247.5	193.0	2247.5
GLA1	MA	1.0	3683.0	316.0	3683.0
GLA2	MA2	1.0	1299.0	182.0	1299.0
GAR	AGF	1.0	1605.8	178.0	1605.8
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	1320.0	208.0	
	PR/PC	1.0	77.0	36.0	
	PR/PC	1.0	38.3	26.0	
	PR/PC	1.0	558.0	117.0	
	PC	1.0	507.5	213.0	2500.8
	Net LIVABLE	cnt	2 (rounded)		4,982
	Net BUILDING	cnt	1 (rounded)		2,248

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
& 555-22-010437

COMMENT TABLE 2

COMMENT TABLE 3

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 606651

Parcel No.: 092W06B003400

Property Address: (LOT 4) DONALD AVE

City: TURNER

County: MARION

State: OR

ZipCode: 97392

Owner:

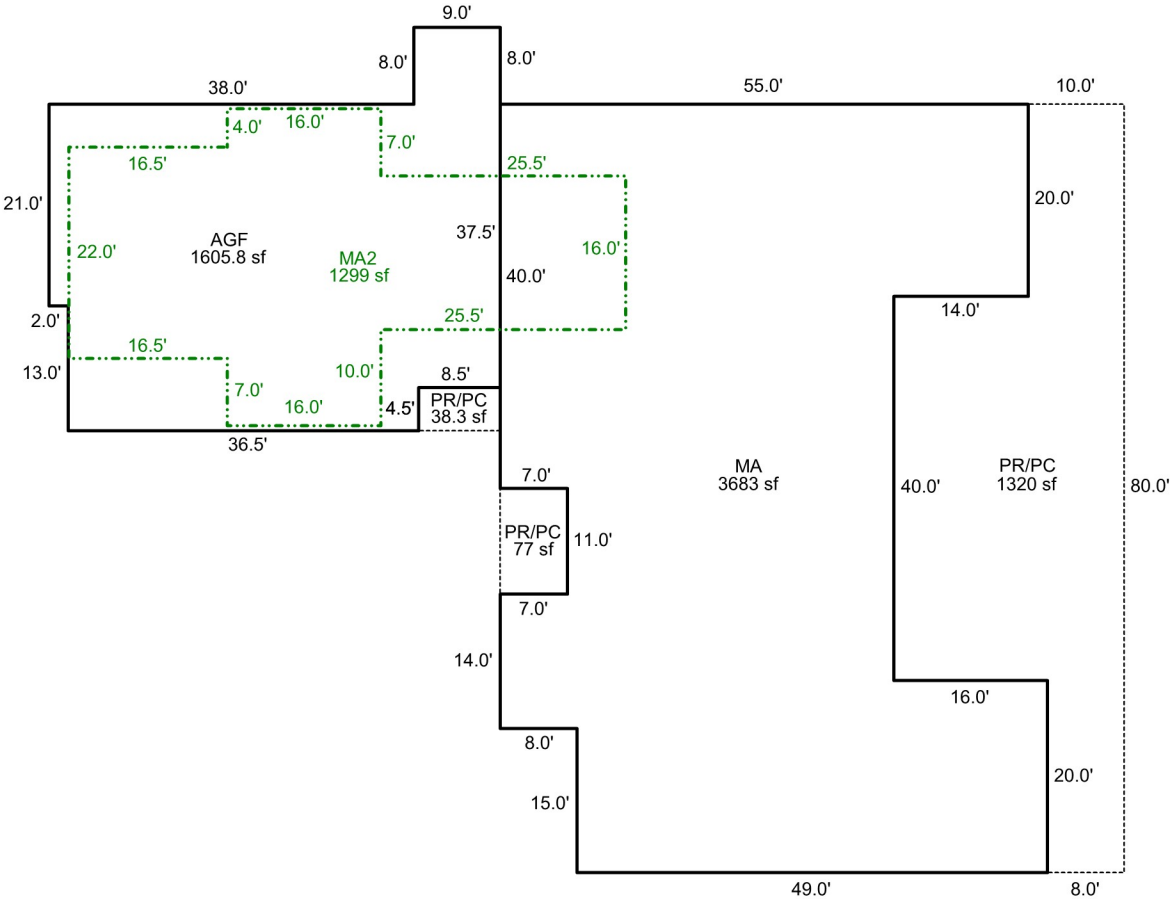
Client:

Client Address:

Appraiser Name:

Inspection Date:

SKETCH



606651
092W06B003400
SCALE = 1:20

Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	3683.0	316.0	3683.0
GLA2	MA2	1.0	1299.0	182.0	1299.0
GAR	AGF	1.0	1605.8	178.0	1605.8
P/P	PR/PC	1.0	1320.0	208.0	
	PR/PC	1.0	38.3	26.0	
	PR/PC	1.0	77.0	36.0	1435.3

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
& 555-22-010437

COMMENT TABLE 2

COMMENT TABLE 3

Net LIVABLE	cnt	2	(rounded)	4,982
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SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

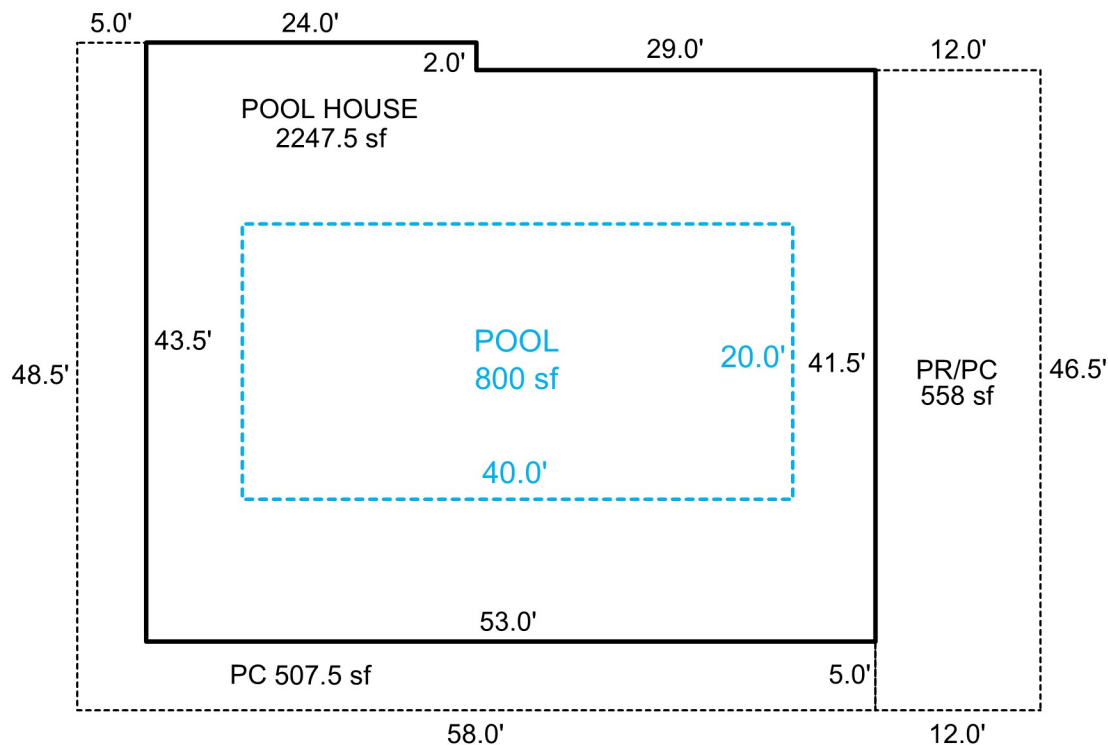
File No.: 606651 Parcel No.: 092W06B003400
 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

606651
 092W06B003400
 SCALE = 1:20



SEE PAGE FOR
 ALL BLDGS



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GBA1	POOL HOUSE	1.0	2247.5	193.0	2247.5
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PC	1.0	507.5	213.0	
	PR/PC	1.0	558.0	117.0	1065.5

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
 & 555-22-010437

COMMENT TABLE 2

COMMENT TABLE 3

Net BUILDING cnt 1 (rounded) 2,248

Summary

Lead Appr: WW 1.22.25

Clerk:

Lead Clerk:

Appr: MDL Input

Print Date: 9/24/2024

Acct ID: 606651

MTL: 092W06B003400

Date: 12/26/24

Appr: MDL

Prop Class: 401

RMV Prop Class: 401

Situs: 9311 DONALD LN SE TURNER OR 97392

MaSaNh: 07 06 000

Unit: 147235

Year: 2024

Last Date Appraised: 01/03/2024

Appraiser: MATT LORD

Retag: Y N

Tag info: 2025 - NEW RESIDENCE (Completion)

Owner: MICHAEL & KERRI SEAMAN LT

Roll Type: R

Cycle Tag

Sales Verification

Other:

Inspection level: 1 2 3 4

LCB

TTO

INSP

AV: 694230

RMV Land: 276570

RMV Imp: 1151320

RMV Total: 1427890

MAV: 0

MSAV: 0

SAV: 0

Comment: 24-25: L2 MDL 1.3.24 TAG

22-008035

Notations

25-26 structures at 100%

No notation data available.

OSDs

Count	Code	Description	RMV	Code Area	Exception
1	MKTG	OSD - GOOD	55000	05590	26740

Land

Site: 1	Code Area: 05590	Size: 3.59 Acres	Use Code: 004	Zone: NREST	SAV Use:	Exception: 98650
Class: 4HD	Value Source: Rural at MKT	Description: FOUR HILL DRY			RMV: 202910	Exception: Y N
Adjustment(s): GSOIL		Fire Patrol:		Description:		
Comments: 23-24: Disqual STF/DFL						

Site: 2	Code Area: 05590	Size: 0.30 Acres	Use Code: 004	Zone: NREST	SAV Use:	Exception: 9070
Class: 2HD	Value Source: Rural at MKT	Description: TWO HILL DRY			RMV: 18660	Exception: Y N
Adjustment(s): GSOIL		Fire Patrol:		Description:		
Comments: 24-25 RESET MAV						
23-24: Disqual STF/DFL						
Liability year - 1975, STF - 2004 / 20-21: #06 CYCLE C19, NO CHG / 16-17: COMB LIKE SEGS // 500190: 02-03: (F)0080: COMBINED R61302 AND R61306, DELETED R61306, SEPE INTO R330154,R330155 / 02-03: REAPP 04-05: ROLLOVER FROM DESIG FOREST TO STF PROGRAM, CHG LAND TYPE FROM DESIG FOREST FCO TO STF C.						

Improvements - Residence / Manufactured Structures

Bldg: 1	Code Area: 05590	Stat Class: 152	Year Blt: 2023	Eff Year Blt: 2023	Sq.Ft: 4982	% Complete: 80
Desc: Multi Story above grade					Dimensions:	RMV: 1151320
Func Obsc: 100	Econ %: 100	Other %: 100	Exception: 559770	Adjust:	Adjust RMV: 0	100

Floors

Type	Class	Display Group	Floor Size	Beds	Baths	Yr Blt	Eff Yr Blt	Inventory	Exception:
First Floor	5	Finished	3683	2	FB-2	2023	2023	BATH - 2, ROOF, KIT+, HVAC, FP - 2	Y N
Second Floor	5	Finished	1299	2	FB-1	2023	2023	HVAC, BATH - 1	Y N
Garage Attached	5	Finished	1605	0	FB-1	2023	2023	ROOF, BATH - 1	Y N
Garage Oversized Detached	5	Low-Cost Finished	2247	0	FB-1	2023	2023	HVAC, BATH - 1, ROOF	Y N

Accessories

Description	Class	Size SqFt	Eff Yr Blt	RMV	Quantity	Exception:
SWIMMING POOL	5	800	2023	40000	1	Y N
YARD IMPROVEMENTS GOOD	5	0	2023	37800	1	Y N

Improvements - Accessory Buildings

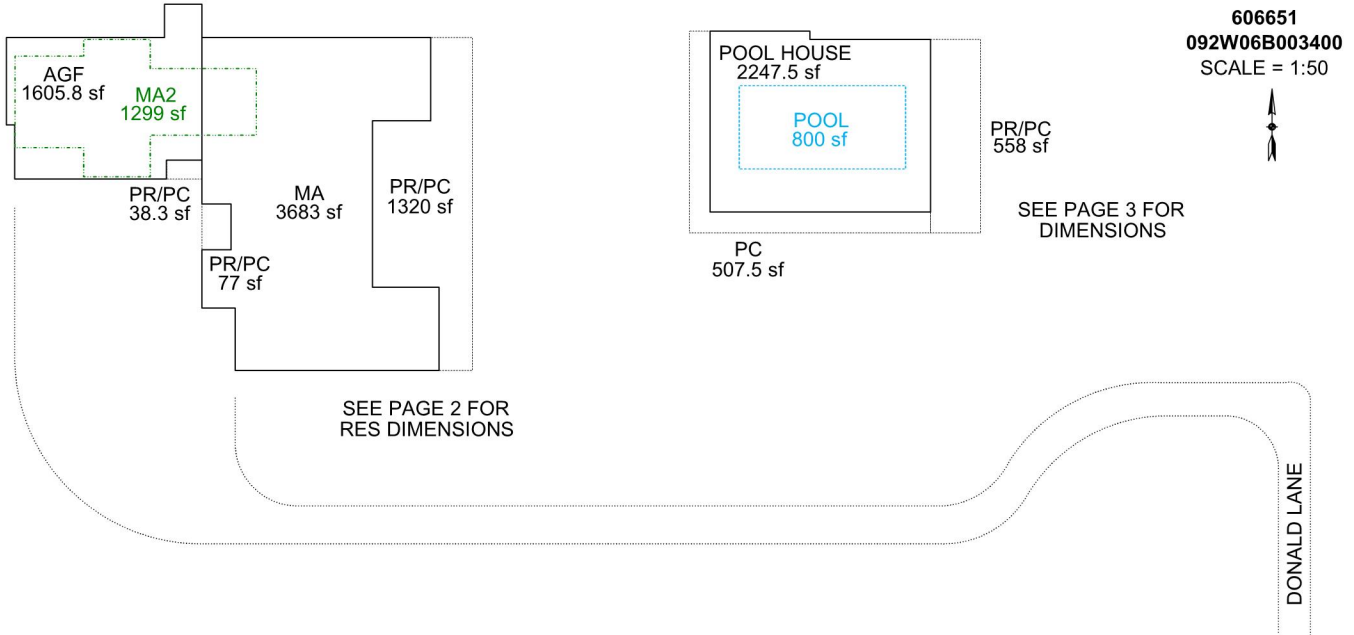
No improvement data available for all other stat class types.

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 606651 Parcel No.: 092W06B003400
 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GBA1	POOL HOUSE	1.0	2247.5	193.0	2247.5
GLA1	MA	1.0	3683.0	316.0	3683.0
GLA2	MA2	1.0	1299.0	182.0	1299.0
GAR	AGF	1.0	1605.8	178.0	1605.8
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	1320.0	208.0	
	PR/PC	1.0	77.0	36.0	
	PR/PC	1.0	38.3	26.0	
	PR/PC	1.0	558.0	117.0	
	PC	1.0	507.5	213.0	2500.8
	Net LIVABLE	cnt	2 (rounded)		4,982
	Net BUILDING	cnt	1 (rounded)		2,248

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
& 555-22-010437

COMMENT TABLE 2

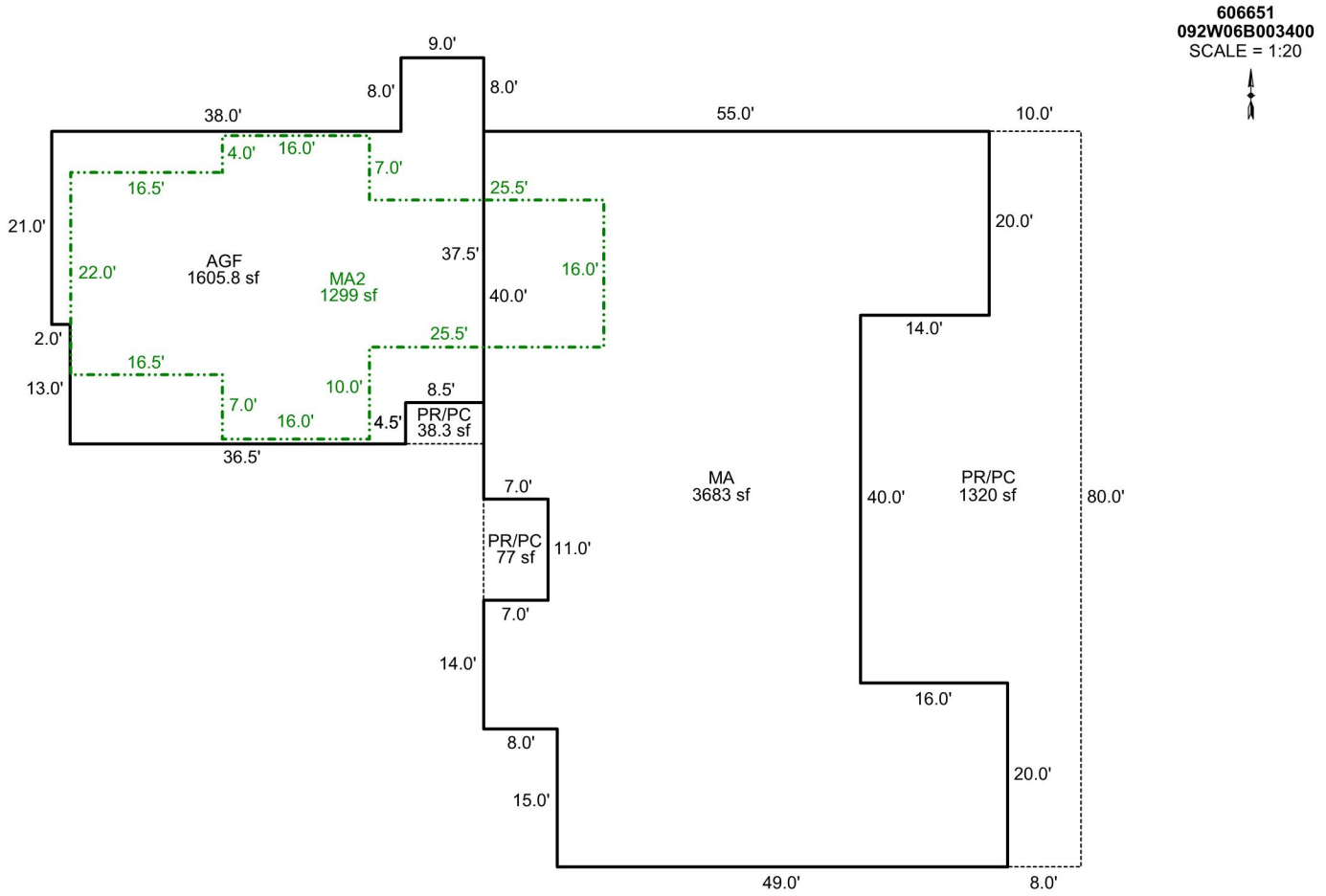
COMMENT TABLE 3

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 606651 Parcel No.: 092W06B003400
 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	3683.0	316.0	3683.0
GLA2	MA2	1.0	1299.0	182.0	1299.0
GAR	AGF	1.0	1605.8	178.0	1605.8
P/P	PR/PC	1.0	1320.0	208.0	
	PR/PC	1.0	38.3	26.0	
	PR/PC	1.0	77.0	36.0	1435.3

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
& 555-22-010437

COMMENT TABLE 2

COMMENT TABLE 3

Net LIVABLE cnt 2 (rounded) 4,982

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

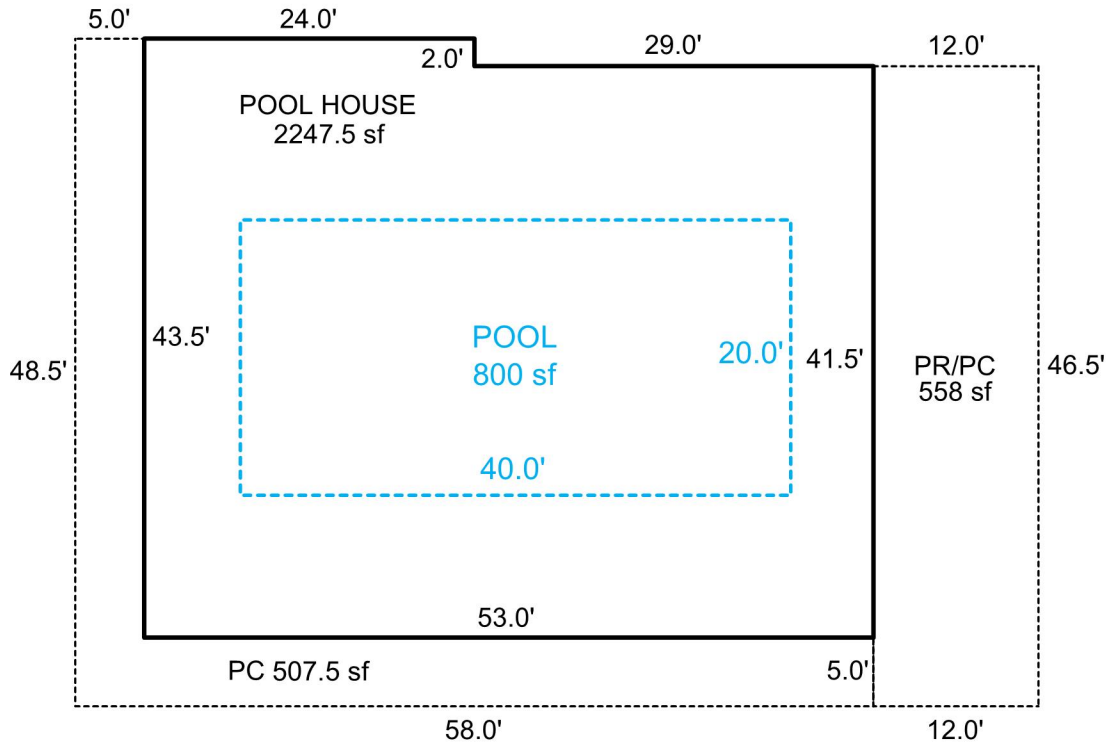
File No.: 606651 Parcel No.: 092W06B003400
 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

606651
 092W06B003400
 SCALE = 1:20



SEE PAGE FOR
 ALL BLDGS



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GBA1	POOL HOUSE	1.0	2247.5	193.0	2247.5
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PC	1.0	507.5	213.0	
	PR/PC	1.0	558.0	117.0	1065.5

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
 & 555-22-010437

COMMENT TABLE 2

COMMENT TABLE 3

Net BUILDING cnt 1 (rounded) 2,248

Summary

Lead Appr: WW Clerk: _____ Lead Clerk: _____ Appr: MDL

Print Date: 12/14/2023

Acct ID: 606651 MTL: 092W06B003400 Date: 1/3/24 Appr: MDL Prop Class: 400 RMV Prop Class: 400

Situs: _____ MaSaNh: 07 06 000 Unit: 147235 Year: 2024

Last Date Appraised: _____ Appraiser: MATT LORD Retag: Y N Tag info: 2024 - NEW CONSTRUCTION (Outbuilding)

Owner: MICHAEL & KERRI SEAMAN LT Roll Type: R

Cycle Tag Sales Verification Other: _____ Inspection level: 1 2 3 4 LCB TTO INSP AV: 93870

RMV Land: 235420 RMV Imp: 0 RMV Total: 235420 MAV: 93870 MSAV: 0 SAV: 0

Comment: New structures 22-008035 SFD 22-010437 Pool House

Notations

80% complete both structures

No notation data available.

OSDs

OSD ✓

No OSD data available.

Land

Site: 1	Code Area: 05590	Size: 3.59 Acres	Use Code: 004	Zone: NREST	SAV Use:	Exception: 0
Class: 4HD	Value Source: Rural at MKT	Description: FOUR HILL DRY			RMV: 215600	Exception: Y N
Adjustment(s): GSOIL			Fire Patrol:	Description:		
Comments: 23-24: Disqual STF/DFL						

Site: 2	Code Area: 05590	Size: 0.30 Acres	Use Code: 004	Zone: NREST	SAV Use:	Exception: 0
Class: 2HD	Value Source: Rural at MKT	Description: TWO HILL DRY			RMV: 19820	Exception: Y N
Adjustment(s): GSOIL			Fire Patrol:	Description:		
Comments: 23-24: Disqual STF/DFL						

Liability year - 1975, STF - 2004 / 20-21: #06 CYCLE C19, NO CHG / 16-17: COMB LIKE SEGS // 500190: 02-03: (F)0080: COMBINED R61302 AND R61306, DELETED R61306, SEPE INTO R330154,R330155 / 02-03: REAPP 04-05: ROLLOVER FROM DESIG FOREST TO STF PROGRAM, CHG LAND TYPE FROM DESIG FOREST FCO TO STF C.

Improvements - Residence / Manufactured Structures

No residence or manufactured structure improvement data available.

Improvements - Accessory Buildings

No improvement data available for all other stat class types.

ACCOUNT # 606651 DATE: 1/3/24 RMV CLASS 401 PROP CLASS 401
MTL 92W 06B 3400 APPR MDL TAG Y N
COMMENTS: _____

RESIDENCE / MANUFACTURED STRUCTURES

ACCESSORY IMPROVEMENTS / OUTBUILDINGS

STAT 5 QLTY + - FLOOR MA
AREA 3683 EFF AREA 3683 BED 2
ROOF + HVAC +
BATH PKG: BATH 2 BATH + 1/2 BTH
FIREPLACE: 2
KITCHEN - +
YR BLT 2023 EFF YR 2023 ECON _____
% COMP 80 % GOOD _____ FUNC _____
EXCEPT Y N LUMP SUM: _____
MISC: _____
YI CLASS _____ F G A E
SKIRT + LIN FT _____
COMMENT: _____

STAT 5 QLTY + - FLOOR MA2
AREA 1299 EFF AREA 1299 BED 2
ROOF + HVAC +
BATH PKG: BATH 1 BATH + 1/2 BTH
FIREPLACE: _____
KITCHEN - +
YR BLT 2023 EFF YR 2023 ECON _____
% COMP 80 % GOOD _____ FUNC _____
EXCEPT Y N LUMP SUM: _____
MISC: _____
YI CLASS _____ F G A E
SKIRT + LIN FT _____
COMMENT: _____

STAT _____ QLTY + - FLOOR _____
AREA _____ EFF AREA _____ BED _____
ROOF + HVAC +
BATH PKG: BATH _____ BATH + 1/2 BTH
FIREPLACE: _____
KITCHEN - +
YR BLT _____ EFF YR _____ ECON _____
% COMP _____ % GOOD _____ FUNC _____
EXCEPT Y N LUMP SUM: _____
MISC: _____
YI CLASS _____ F G A E
SKIRT + LIN FT _____
COMMENT: _____

TYPE ALF
STAT / CLASS 5
SIZE 1605
FAIR
AVERAGE
GOOD
EXCELLENT

BATH 1
YR BLT 2023
EFF YR 2023
% COMP 80
EXCEPT Y N
MISC: _____
COMMENT: _____

TYPE _____
STAT / CLASS _____
SIZE _____
FAIR
AVERAGE
GOOD
EXCELLENT

BATH _____
YR BLT _____
EFF YR _____
% COMP _____
EXCEPT Y N
MISC: _____
COMMENT: _____

TYPE D60F
STAT / CLASS 5
SIZE 2247
FAIR
AVERAGE
GOOD
EXCELLENT

BATH 1
YR BLT 2023
EFF YR 2023
% COMP 80
EXCEPT Y N
MISC: _____
COMMENT: SP 800 SF

TYPE _____
STAT / CLASS _____
SIZE _____
FAIR
AVERAGE
GOOD
EXCELLENT

BATH _____
YR BLT _____
EFF YR _____
% COMP _____
EXCEPT Y N
MISC: _____
COMMENT: _____

Percent Complete Form

Account # 606651

Additions

New Homes

		No Basement		Basement	
% Item	% Sum	% Item	% Sum	% Item	% Sum
3%	0%	Plans/Survey	3%	3%	0%
2%		Excavation	2%	4%	
3%		Foundation	3%	10%	
35%	45%	Framing	14%	20%	35%
8%	50%	Trusses	7%	30%	40%
7%	60%	Roofing	7%	35%	45%
7%	65%	Windows/Ext Doors	7%	45%	55%
5%	70%	Siding	5%	50%	60%
4%	75%	Plumbing Rough-In	4%	3%	
3%		Electrical Rough-In	3%	2%	65%
2%	80%	Heating Rough-In	2%	1%	
		Heating Unit	1%	1%	
3%		Insulation	3%	2%	
5%	85%	Drywall (Finished)	5%	65%	70%
2%	90%	Paint Interior	2%	70%	75%
2%		Paint Exterior	2%	2%	
		Cabinets	6%	75%	80%
2%	95%	Electrical Fixtures	3%	80%	
2%		Plumbing Fixtures	4%	85%	85%
3%	100%	Floor Coverings & Countertops	7%	90%	90%
2%		Interior Trim Carpentry	7%	95%	95%
		Porch/Entry/Stoop	2%	100%	100%
		Finish Grade	1%	1%	

APPR

MDL

Date

1/3/24

YR For

24-25

% COMP

80%

APPR

MDL

Date

YR For

25-26

% COMP

100%

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

Percent Complete Form

Account #

Gut & Remodels

Interior Trim Carpentry	7%	90%
Floor Coverings & Countertops	7%	85%
Plumbing Fixtures	4%	80%
Electrical Fixtures	3%	80%
Cabinets	6%	75%
Drywall (Finished)	5%	70%
Insulation	3%	65%

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

Outbuilding Type:

	% Item	% Sum
Excavation/Foundation	10%	40%
Floor - Concrete/Wood	30%	
Walls - Framing	10%	65%
Walls - Covering/Siding	15%	
Roof - Framing/Trusses	15%	95%
Roof - Sheathing	5%	
Roof - Cover	10%	
Doors & Windows	5%	100%

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

APPR

Date

YR For

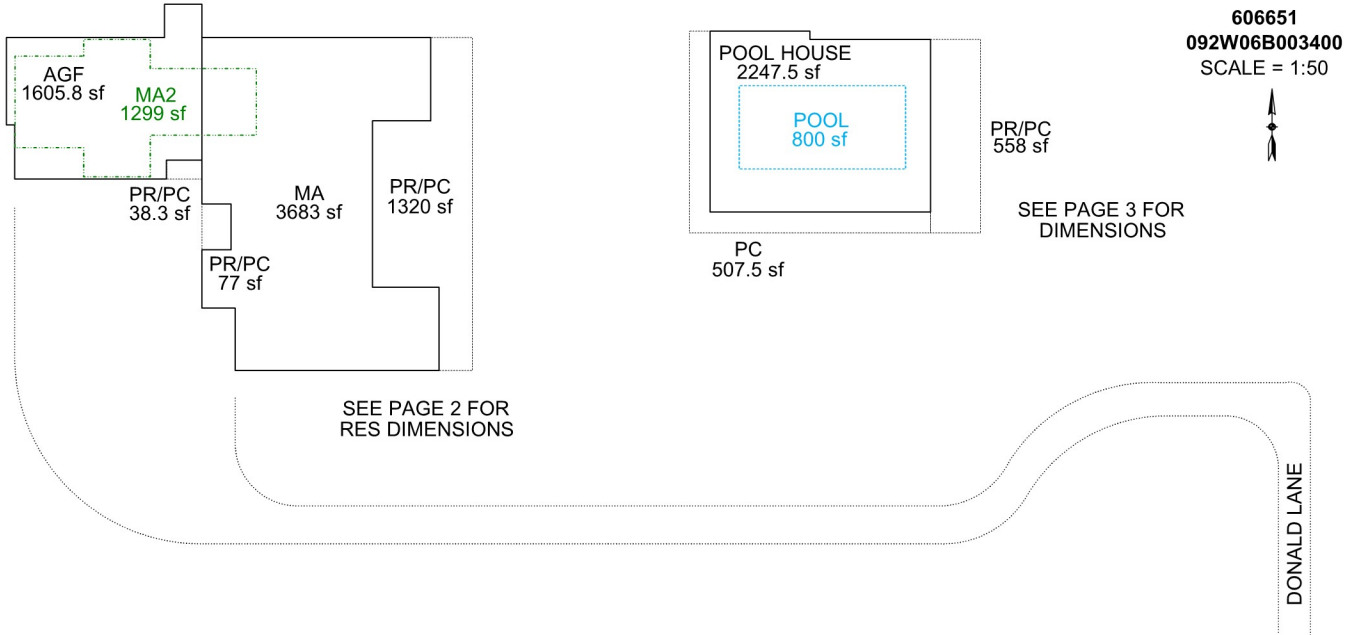
% COMP

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

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 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
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GLA2	MA2	1.0	1299.0	182.0	1299.0
GAR	AGF	1.0	1605.8	178.0	1605.8
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	1320.0	208.0	
	PR/PC	1.0	77.0	36.0	
	PR/PC	1.0	38.3	26.0	
	PR/PC	1.0	558.0	117.0	
	PC	1.0	507.5	213.0	2500.8
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COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
& 555-22-010437

COMMENT TABLE 2

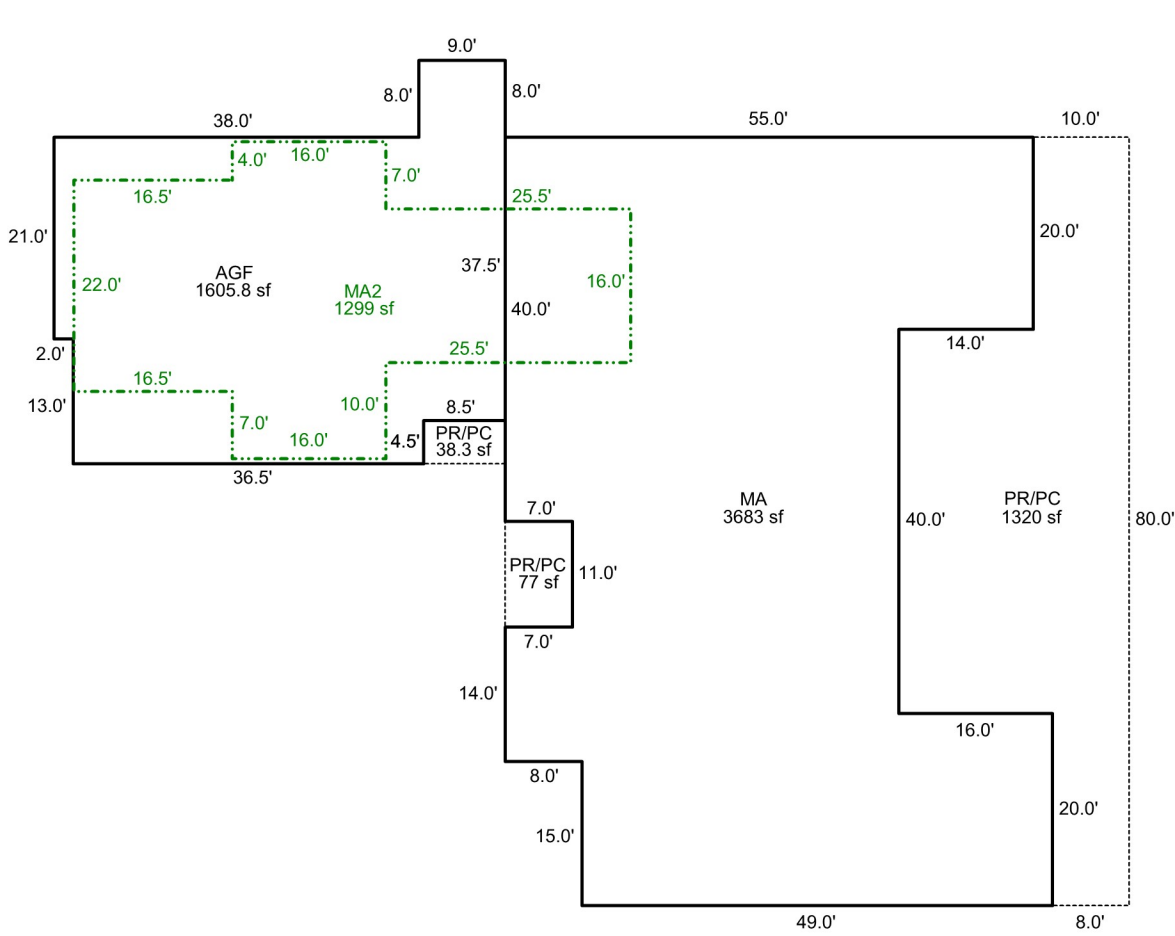
COMMENT TABLE 3

SKETCH/AREA TABLE ADDENDUM

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File No.: 606651 Parcel No.: 092W06B003400
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 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	3683.0	316.0	3683.0
GLA2	MA2	1.0	1299.0	182.0	1299.0
GAR	AGF	1.0	1605.8	178.0	1605.8
P/P	PR/PC	1.0	1320.0	208.0	
	PR/PC	1.0	38.3	26.0	
	PR/PC	1.0	77.0	36.0	1435.3

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
& 555-22-010437

COMMENT TABLE 2

COMMENT TABLE 3

Net LIVABLE cnt 2 (rounded) 4,982

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

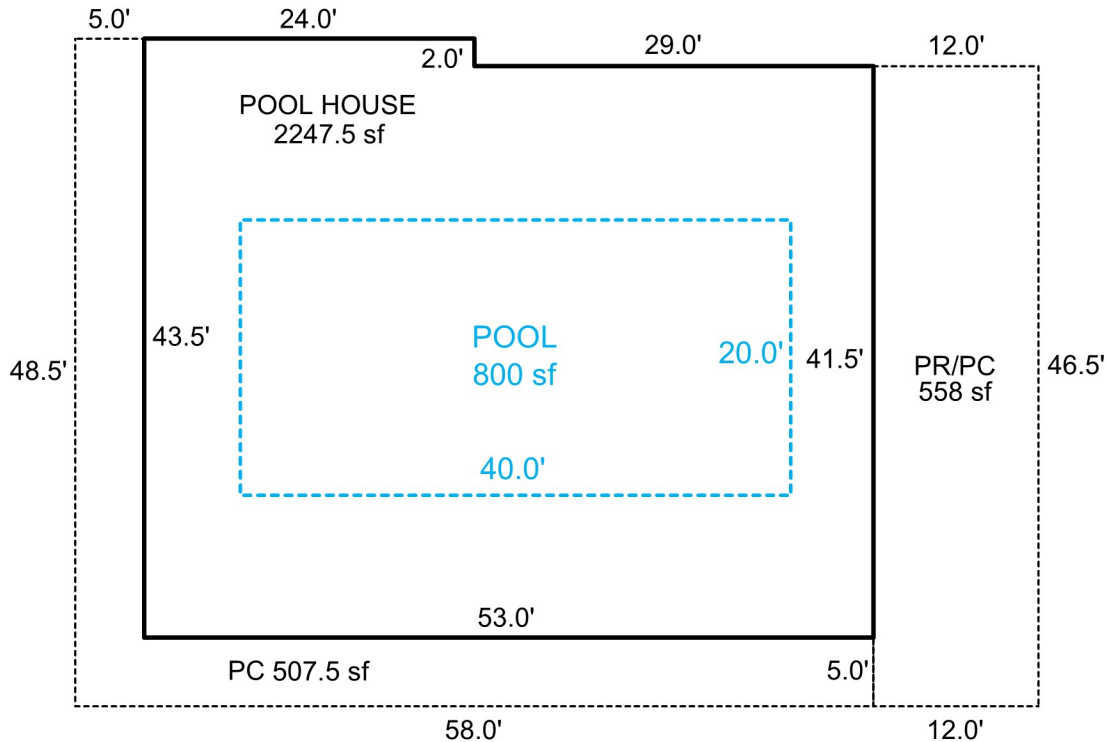
File No.: 606651 Parcel No.: 092W06B003400
 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

606651
092W06B003400
 SCALE = 1:20



SEE PAGE FOR
ALL BLDGS



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GBA1	POOL HOUSE	1.0	2247.5	193.0	2247.5
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PC	1.0	507.5	213.0	
	PR/PC	1.0	558.0	117.0	1065.5

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
 & 555-22-010437

COMMENT TABLE 2

COMMENT TABLE 3

Net BUILDING cnt 1 (rounded) 2,248



1/3/24

Summary

Lead Appr: WW Clerk: _____ Lead Clerk: _____ Appr: MDL

Print Date: 12/14/2023

Acct ID: 606651 MTL: 092W06B003400 Date: 1/3/24 Appr: MDL Prop Class: 400 RMV Prop Class: 400

Situs: _____ MaSaNh: 07 06 000 Unit: 147235 Year: 2024

Last Date Appraised: _____ Appraiser: MATT LORD Retag: Y N Tag info: 2024 - NEW CONSTRUCTION (Outbuilding)

Owner: MICHAEL & KERRI SEAMAN LT Roll Type: R

Cycle Tag Sales Verification Other: _____ Inspection level: 1 2 3 4 LCB TTO INSP AV: 93870

RMV Land: 235420 RMV Imp: 0 RMV Total: 235420 MAV: 93870 MSAV: 0 SAV: 0

Comment: New structures 22-008035 SFD 22-010437 Pool House

Notations

80% complete both structures

No notation data available.

OSDs

OSD 6

No OSD data available.

Land

Site: 1	Code Area: 05590	Size: 3.59 Acres	Use Code: 004	Zone: NREST	SAV Use:	Exception: 0
Class: 4HD	Value Source: Rural at MKT	Description: FOUR HILL DRY	RMV: 215600	Exception: Y	N	
Adjustment(s): GSOIL	Fire Patrol:	Description:				
Comments: 23-24: Disqual STF/DFL						

Site: 2	Code Area: 05590	Size: 0.30 Acres	Use Code: 004	Zone: NREST	SAV Use:	Exception: 0
Class: 2HD	Value Source: Rural at MKT	Description: TWO HILL DRY	RMV: 19820	Exception: Y	N	
Adjustment(s): GSOIL	Fire Patrol:	Description:				
Comments: 23-24: Disqual STF/DFL						
Liability year - 1975, STF - 2004 / 20-21: #06 CYCLE C19, NO CHG / 16-17: COMB LIKE SEGS // 500190: 02-03: (F)0080: COMBINED R61302 AND R61306, DELETED R61306, SEPE INTO R330154,R330155 / 02-03: REAPP 04-05: ROLLOVER FROM DESIG FOREST TO STF PROGRAM, CHG LAND TYPE FROM DESIG FOREST FCO TO STF C.						

Improvements - Residence / Manufactured Structures

No residence or manufactured structure improvement data available.

Improvements - Accessory Buildings

No improvement data available for all other stat class types.

ACCOUNT # 606651 DATE: 1/3/24 RMV CLASS 401 PROP CLASS 401
MTL 92W 06B 3400 APPR MDL TAG Y N
COMMENTS: _____

RESIDENCE / MANUFACTURED STRUCTURES

STAT 5 QLTY + - FLOOR MA
AREA 3683 EFF AREA 3683 BED 2
ROOF + HVAC +
BATH PKG: BATH 2 BATH + 1/2 BTH
FIREPLACE: 2
KITCHEN - +
YR BLT 2023 EFF YR 2023 ECON _____
% COMP 80 % GOOD _____ FUNC _____
EXCEPT Y N LUMP SUM: _____
MISC: _____
YI CLASS _____ F G A E
SKIRT + LIN FT _____
COMMENT: _____

STAT 5 QLTY + - FLOOR MA2
AREA 1299 EFF AREA 1299 BED 2
ROOF + HVAC +
BATH PKG: BATH 1 BATH + 1/2 BTH
FIREPLACE: _____
KITCHEN - +
YR BLT 2023 EFF YR 2023 ECON _____
% COMP 80 % GOOD _____ FUNC _____
EXCEPT Y N LUMP SUM: _____
MISC: _____
YI CLASS _____ F G A E
SKIRT + LIN FT _____
COMMENT: _____

STAT _____ QLTY + - FLOOR _____
AREA _____ EFF AREA _____ BED _____
ROOF + HVAC +
BATH PKG: BATH _____ BATH + 1/2 BTH
FIREPLACE: _____
KITCHEN - +
YR BLT _____ EFF YR _____ ECON _____
% COMP _____ % GOOD _____ FUNC _____
EXCEPT Y N LUMP SUM: _____
MISC: _____
YI CLASS _____ F G A E
SKIRT + LIN FT _____
COMMENT: _____

ACCESSORY IMPROVEMENTS / OUTBUILDINGS

TYPE ALF
STAT / CLASS 5
SIZE 1605
FAIR
AVERAGE
GOOD
EXCELLENT
BATH 1

YR BLT 2023
EFF YR 2023
% COMP 80
EXCEPT Y N
MISC: _____

COMMENT: _____

TYPE _____
STAT / CLASS _____
SIZE _____
FAIR
AVERAGE
GOOD
EXCELLENT

BATH _____
YR BLT _____
EFF YR _____
% COMP _____
EXCEPT Y N
MISC: _____

COMMENT: _____

TYPE D60F
STAT / CLASS 5
SIZE 2247
FAIR
AVERAGE
GOOD
EXCELLENT
BATH 1

YR BLT 2023
EFF YR 2023
% COMP 80
EXCEPT Y N
MISC: _____

COMMENT: SP 800 SF

TYPE _____
STAT / CLASS _____
SIZE _____
FAIR
AVERAGE
GOOD
EXCELLENT

BATH _____
YR BLT _____
EFF YR _____
% COMP _____
EXCEPT Y N
MISC: _____

COMMENT: _____

Percent Complete Form

Account # 606651

Additions

New Homes

		No Basement		Basement	
% Item	% Sum	% Item	% Sum	% Item	% Sum
3%	0%	Plans/Survey	3%	3%	0%
2%		Excavation	2%	4%	
3%		Foundation	3%	10%	
35%	45%	Framing	14%	20%	35%
8%	50%	Trusses	7%	30%	40%
7%	60%	Roofing	7%	35%	45%
7%	65%	Windows/Ext Doors	7%	45%	55%
5%	70%	Siding	5%	50%	60%
4%	75%	Plumbing Rough-In	4%	3%	
3%		Electrical Rough-In	3%	2%	65%
2%	80%	Heating Rough-In	2%	1%	
		Heating Unit	1%	1%	
3%		Insulation	3%	2%	
5%	85%	Drywall (Finished)	5%	65%	70%
2%	90%	Paint Interior	2%	70%	75%
2%		Paint Exterior	2%	2%	
		Cabinets	6%	75%	80%
2%	95%	Electrical Fixtures	3%	80%	
2%		Plumbing Fixtures	4%	85%	85%
3%	100%	Floor Coverings & Countertops	7%	90%	90%
2%		Interior Trim Carpentry	7%	95%	95%
		Porch/Entry/Stoop	2%	100%	100%
		Finish Grade	1%	1%	

APPR

MDL

Date

1/3/24

YR For

24-25

% COMP

80%

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

Percent Complete Form

Account # _____

Gut & Remodels

Interior Trim Carpentry	7%	90%
Floor Coverings & Countertops	7%	85%
Plumbing Fixtures	4%	80%
Electrical Fixtures	3%	80%
Cabinets	6%	75%
Drywall (Finished)	5%	70%
Insulation	3%	65%

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

Outbuilding Type: _____

	% Item	% Sum
Excavation/Foundation	10%	40%
Floor - Concrete/Wood	30%	
Walls - Framing	10%	65%
Walls - Covering/Siding	15%	
Roof - Framing/Trusses	15%	95%
Roof - Sheathing	5%	
Roof - Cover	10%	
Doors & Windows	5%	100%

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

APPR

Date

YR For

% COMP

APPR

Date

YR For

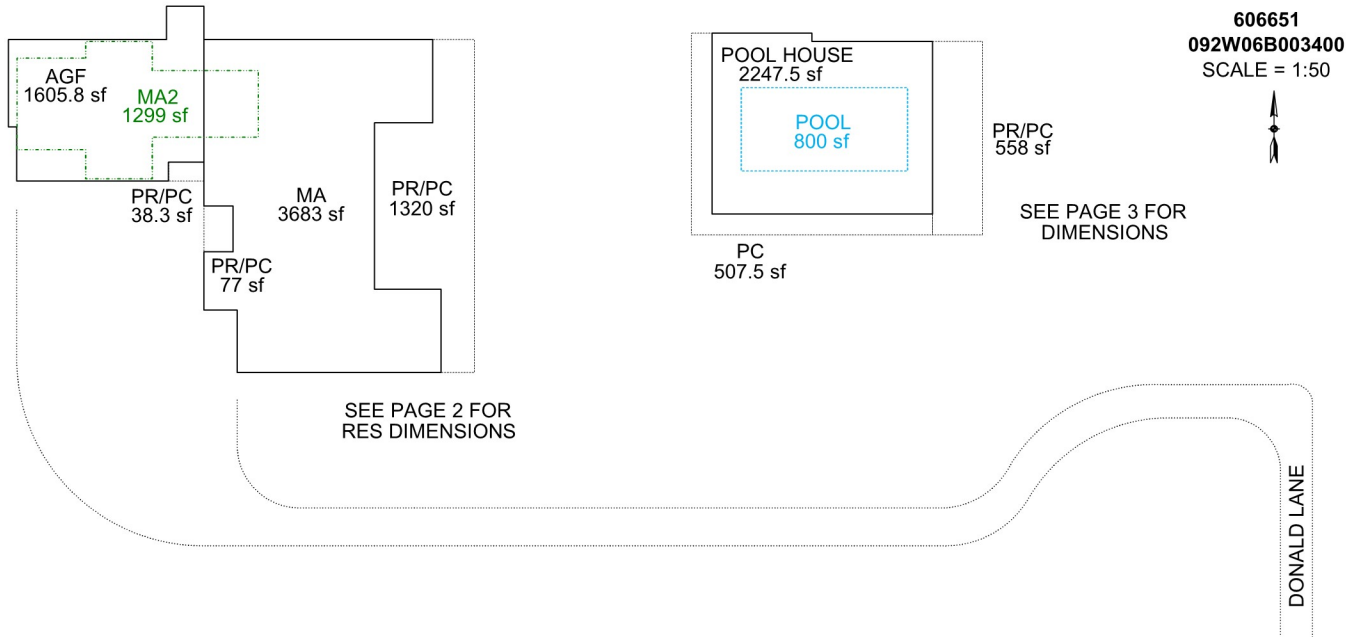
% COMP

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 606651 Parcel No.: 092W06B003400
 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GBA1	POOL HOUSE	1.0	2247.5	193.0	2247.5
GLA1	MA	1.0	3683.0	316.0	3683.0
GLA2	MA2	1.0	1299.0	182.0	1299.0
GAR	AGF	1.0	1605.8	178.0	1605.8
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PR/PC	1.0	1320.0	208.0	
	PR/PC	1.0	77.0	36.0	
	PR/PC	1.0	38.3	26.0	
	PR/PC	1.0	558.0	117.0	
	PC	1.0	507.5	213.0	2500.8
	Net LIVABLE	cnt	2 (rounded)		4,982
	Net BUILDING	cnt	1 (rounded)		2,248

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
& 555-22-010437

COMMENT TABLE 2

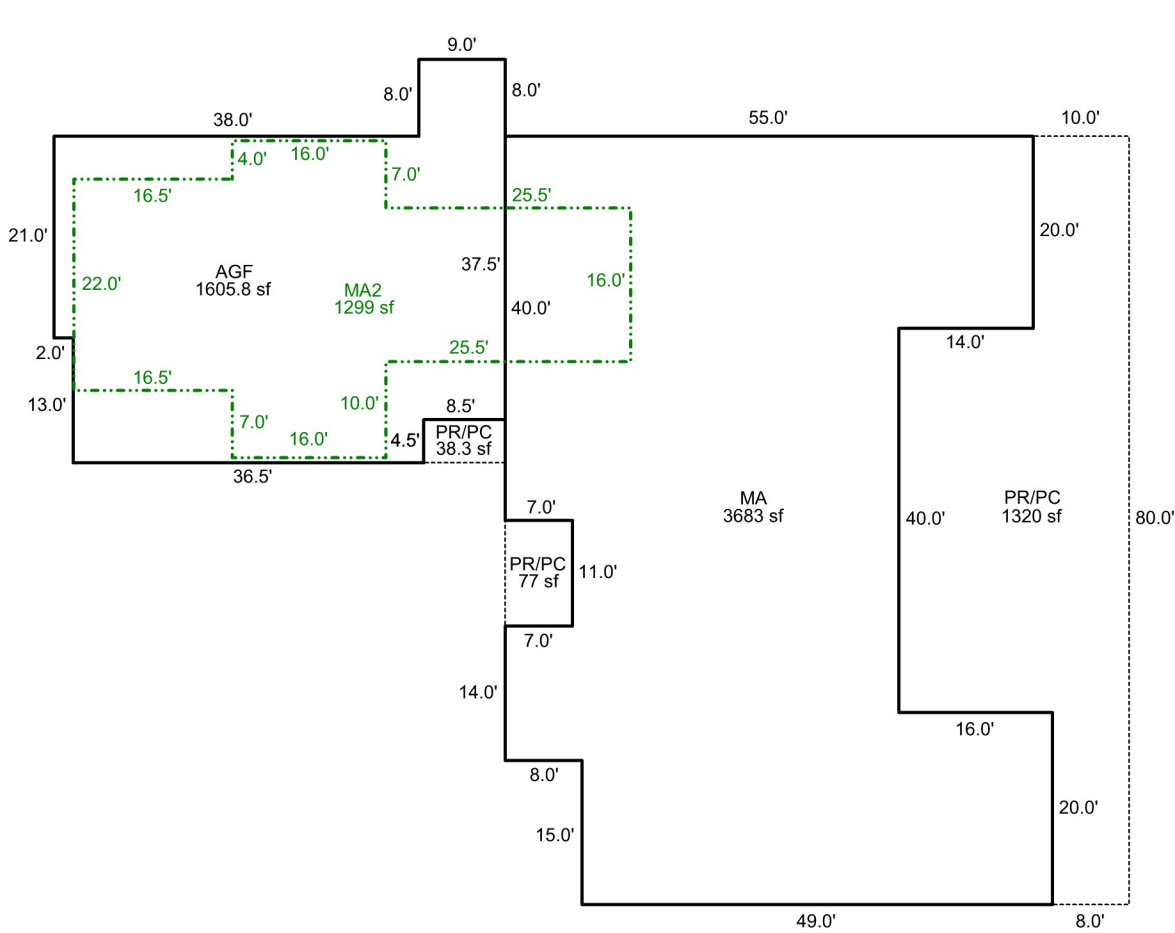
COMMENT TABLE 3

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

File No.: 606651 Parcel No.: 092W06B003400
 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GLA1	MA	1.0	3683.0	316.0	3683.0
GLA2	MA2	1.0	1299.0	182.0	1299.0
GAR	AGF	1.0	1605.8	178.0	1605.8
P/P	PR/PC	1.0	1320.0	208.0	
	PR/PC	1.0	38.3	26.0	
	PR/PC	1.0	77.0	36.0	1435.3

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
& 555-22-010437

COMMENT TABLE 2

COMMENT TABLE 3

Net LIVABLE cnt 2 (rounded) 4,982

SKETCH/AREA TABLE ADDENDUM

SUBJECT INFO

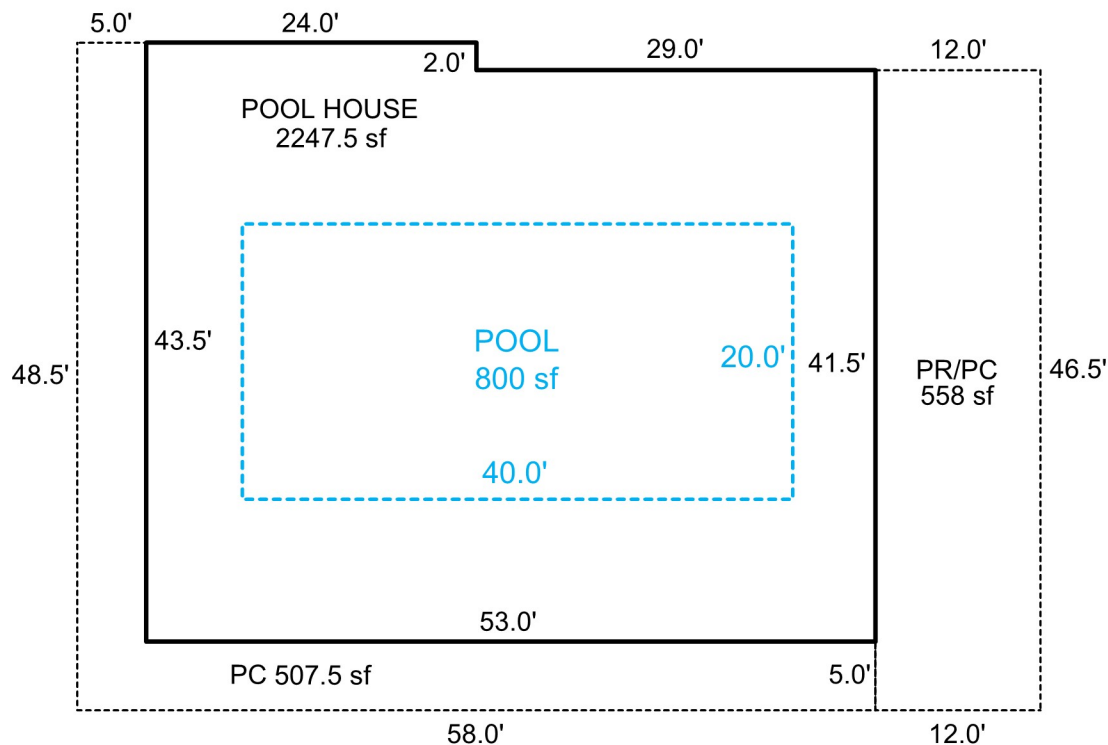
File No.: 606651 Parcel No.: 092W06B003400
 Property Address: (LOT 4) DONALD AVE
 City: TURNER County: MARION State: OR ZipCode: 97392
 Owner:
 Client: Client Address:
 Appraiser Name: Inspection Date:

SKETCH

606651
 092W06B003400
 SCALE = 1:20



SEE PAGE FOR
 ALL BLDGS



Sketch by Apex Sketch

AREA CALCULATIONS SUMMARY

Code	Description	Factor	Net Size	Perimeter	Net Totals
GBA1	POOL HOUSE	1.0	2247.5	193.0	2247.5
OTH	POOL	1.0	800.0	120.0	800.0
P/P	PC	1.0	507.5	213.0	
	PR/PC	1.0	558.0	117.0	1065.5

COMMENT TABLE 1

APEX BY CJURAN 08/31/2023 555-22-008035
 & 555-22-010437

COMMENT TABLE 2

COMMENT TABLE 3

Net BUILDING cnt 1 (rounded) 2,248



1/3/24



Marion County

5155 Silverton Rd NE
Salem, OR 97305
503-588-5147
Fax: 503-588-7948

Building Permit

Residential 1 & 2 Fam Dwelling (New Only)

Permit Number: 555-22-008035-DWL

IVR Number: 555054174191

Web Address: www.co.marion.or.us

Email Address: building@co.marion.or.us

Permit Issued: January 18, 2023

Application Date: September 02, 2022

TYPE OF WORK

Residential Specialty Code Edition: 2021

Category of Construction: Single Family Dwelling

Type of Work: New

Calculated Job Value: \$892,161.14

Description of Work: NSFD 4 BED, 3 BATH W/ OFFICE, MEDIA RM

JOB SITE INFORMATION

Worksite Address

9311 DONALD LN SE
TURNER OR 97392

Parcel

TEMP MC

Owner:

MICHEAL SEAMAN

Address:

None Given

LICENSED PROFESSIONAL INFORMATION

Business Name

FOKSHA HOMES INC - Primary

License

CCB

License Number

202644

Phone

503-999-8068

SCHEDULING INSPECTIONS

Various inspections are minimally required on each project and often dependent on the scope of work. Contact the issuing jurisdiction indicated on the permit to determine required inspections for this project.

Schedule or track inspections at www.buildingpermits.oregon.gov

Call or text the word "schedule" to 1-888-299-2821 use IVR number: 555054174191

Schedule using the Oregon ePermitting Inspection App, search "epermitting" in the app store

Permits expire if work is not started within 180 Days of issuance or if work is suspended for 180 Days or longer depending on the issuing agency's policy.

Per R105.7 and R 106.3.1, a copy of the building permit and one set of approved construction documents shall be available for review at the work site.

All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. Granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the Center at (503) 232-1987.

All persons or entities performing work under this permit are required to be licensed unless exempted by ORS 701.010 (Structural/Mechanical), ORS 479.540 (Electrical), and ORS 693.010-020 (Plumbing).

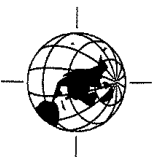
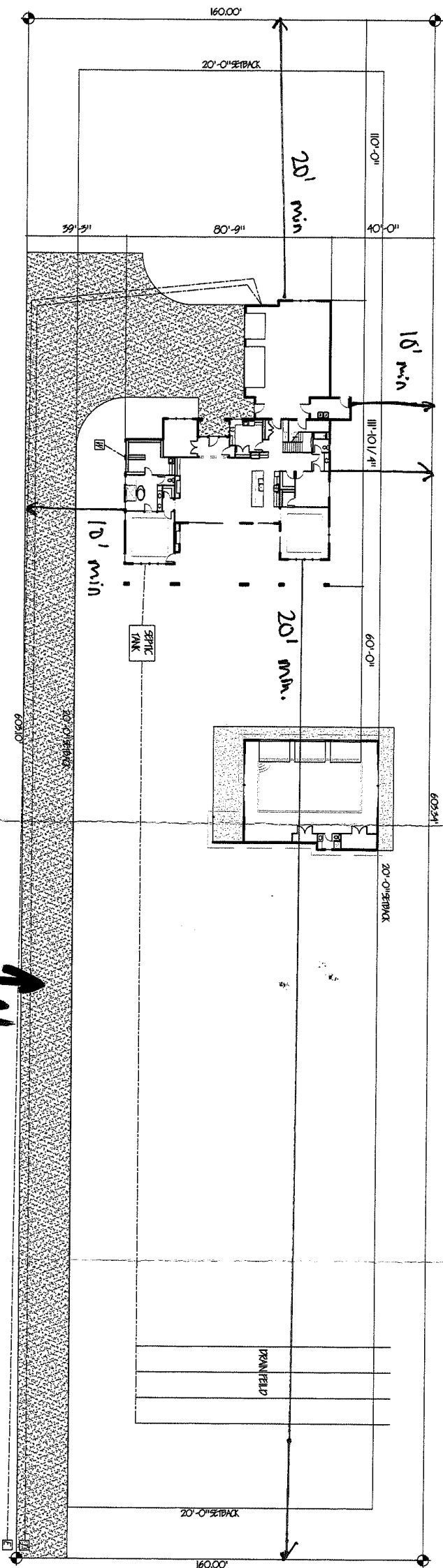
APPROVED BY
DJ 1/11/23
Approved as single
family dwelling.

22-008035-DWL
RECEIVED
SEP 02 2022
MARION COUNTY
BUILDING INSPECTION



FILE

LOT 4 DONALD AVE.



- Gas Stubout
- Water Stubout
- Water Valve
- Property Corner
- Monument Found as Noted
- Contour (Assumed Elev)
- Easement / Setback Line
- Concrete Curb
- Utility Line (as Noted)
- Property Boundary
- Ground Slope

- (Species & DIA as Noted)
- Tree to be Removed
- Tree (DIA as Noted)
- Fire Hydrant
- Water Stubout
- Cat Pedestal
- Telephone Pedestal
- Electric Pedestal

COPYRIGHT 2021
DATE: 7-21-2021
SCALE: 1/4"=40'
FILE # 2061 ST.
PROJECT: 2061

SITE PLAN
PAGE 5

NOTE:
ACTUAL FINISHED GRADES MAY
VARY FROM FINISHED GRADES SHOWN
ON ELEVATIONS AND PLANS

Handwritten:

Handwritten notes on lined paper.

[Signature]
MARION COUNTY
BUILDING INSPECTION

COMP ROOFING O / 15 #
FELT O / 1 2" SUB SHEATHING

286 FASCIA

財

u

STONE VENEER—

BOARD & BATTENS

This is a detailed architectural floor plan of a building. The plan features a large central hall with a staircase. To the left of the hall is a large room with a desk and chair. To the right of the hall is a large room with a desk and chair. The plan also includes several smaller rooms, a bathroom, and a kitchen area. The drawing uses solid lines for walls and dashed lines for doors and windows. The overall layout is complex and multi-functional.

1. THE AGENCIES OF THESE PLANS ARE TO PROVIDE THE CONTRACTOR WITH A GUIDE FOR THE PLANNING, CONSTRUCTION AND WORKABLE PROTECTION IN SO FAR AS THE DRAWINGS SHOW AND THE SPECIFICATIONS ALLOW FOR. THESE PLANS ARE INTENDED FOR THE USE OF PEOPLE WITH KNOWLEDGE OF BUILDING CONSTRUCTION.
2. ALL WORK SHALL COMPLY WITH THE LATEST REVISED VERSION OF THE NATIONAL BUILDING REGULATIONS, THE BUILDING CODE, AND ANY APPLICABLE LOCAL OR COUNTY ORDINANCES.
3. THE CONTRACTOR IS RESPONSIBLE FOR INTERPRETING THE PLANS AND TO NOTIFY THE CONSTRUCTION OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
4. MATERIALS DIMENSIONS SHALL TAKE ALI PREFERENCE OVER SCALED DIMENSIONS.
5. DIMENSIONS SPECIFICATIONS AND TOLERANCES SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR AS REQUIRED.
6. PLUMBING AND ELECTRICAL SPECIFICATIONS SHALL BE PROVIDED BY THE RESPECTIVE TRADES, AS REQUIRED BY BUILDING OFFICIALS.
7. HEATING, VENTILATION AND AIR-CONDITIONING SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR, OR OTHER QUALIFIED PROFESSIONAL AS REQUIRED BY BUILDING OFFICIALS.
8. ROSS MANUFACTURING SHALL PROVIDE ALL DRAWINGS, SPECIFICATIONS AND ENGINEERING AS REQUIRED BY BUILDING OFFICIALS.

PROJECT TYPE	AREA
INTERMEDIATE RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS	9727 SQ. FT. 1006 SQ. FT. 1460 SQ. FT. 5095 SQ. FT. 7496 SQ. FT.
NEW SINGLE FAMILY RESIDENCE	ROOF TRAVEL AREA MAIN FLOOR UPPER FLOOR GARAGE TOTAL LOWER ROOF ROOF TRAVEL AREA
APPLICABLE CODES:	SPECIAL CASES: A. ROOF LINE LOW B. WIND LOAD C. SEISMIC ZONE D. PROSTHEPH E. SOL BEARING = 28° 5' S = DO NOT EXPOSE D = CATEGORY D = "A" = DOOT 0.5F

MAXIMUM ALLOWABLE AREA	NO LIMIT
WINDOW GLASS	U = 0.28
DOORS, OTHER THAN ENTRY	U = 0.20
MAIN ENTRY DOOR	U = 0.20

WALL INSULATION	R-25
INTERFLOOR INSULATION	R-50
FLAT CEILINGS	R-40
VAULTED CEILINGS	R-50
SKYLIGHT GLASS	U = .050
SKYLIGHT AREA	LESS THAN 2%
BASEMENT WALLS	R-21
SLAB FLOOR EDGE INSULATION	R-15
FLOORED ARE DUCT INSULATION	R-5

MAXIMUM ALLOWABLE AREA
WINDOW GLASS
DOORS, OTHER THAN ENTRY
MAIN ENTRY DOOR
(MAX. 24.60 SF)

WALL INSULATION
UNDERFLOOR INSULATION
FLAT CEILINGS
VAULTED CEILINGS

SKYLIGHT GLASS
SKYLIGHT AREA
BASEMENT WALLS
SLAB FLOOR EDGE INSULATION
FORCED AIR DUCT INSULATION

HIGH-EFFICIENCY HVAC SYSTEMSM

☒ (b) Air-source heat pump HSPF 10.0/14.0 SEER cooling, or

HIGH-EFFICIENCY WATER HEATING SYSTEM

HIGH-EFFICIENCY WATER HEATING SYSTEM

- Natural gas/propane water heater with minimum UEF 0.90, or
- Electric heat pump water heater with minimum 2.0 COP, or
- Natural gas/propane tankless/instantaneous heater with minimum 0.90 UEF, or

Drain Water Heat Recovery Unit installed on minimum of one

WALL INSULATION UPGRADE

ADVANCED ENVELOPE

Windows—U-0.21 (Area weighted average), and
Flat ceiling^b—U-0.017/R-60, and
Framed floors—U-0.026/R-38 or slab edge insulated
insulated slab)

DUCTLESS HEAT PUMP

For dwelling units with all-electric heat, provide:
 Ductless heat pump of minimum HSPF 10 in primary zone replaces zonal electric heat sources, and
 programmable thermostat for all heaters in bedrooms

HIGH EFFICIENCY THERMAL ENVELOPE UA°

CLAZING AREA

GLAZING AREA

Glazing area, measured as the total of framed openings is less than 1.2 percent of conditioned floor area

3 ACH AIR LEAKAGE CONTROL AND EFFICIENT VENTILATION

achieve a maximum of 3.0 ACH50 whole-house air leakage when third-party tested and provide a whole-house ventilation system including heat recovery with a minimum sensible heat recovery efficiency of not less than 66 percent.

REVIEWED FOR CODE
COMPLIANCE - 2021
REGON RESIDENTIAL
SPECIALTY CODE

1/10/2003

STATE CERTIFIED
PLANS EXAMINER

OC 381

[Signature]

NOT REPRODUCED WITHOUT PERMISSION

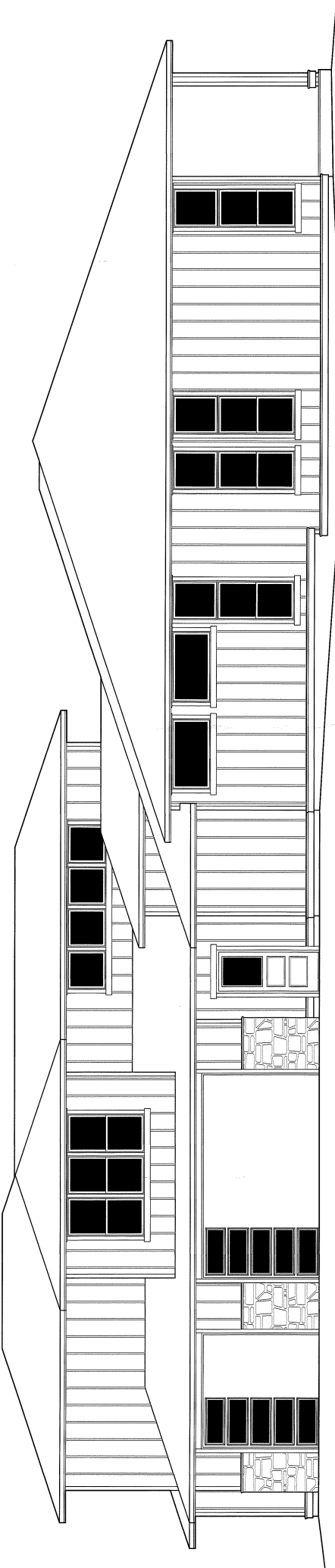
555-22-008035-DWL
9311 DONALD LANE SE
TURNER

NEW HOUSE PLAN FOR:

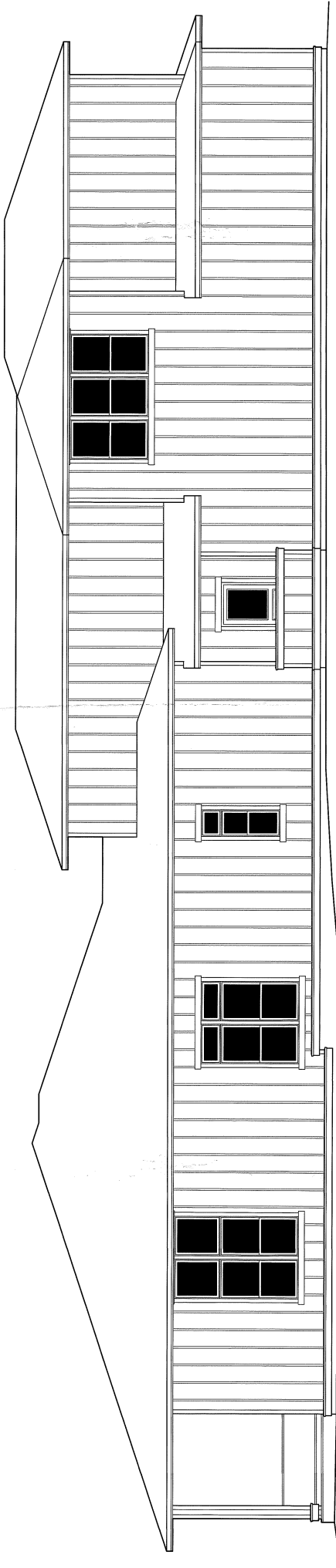
LOT+DONALD AVE. TURNER, OR

DATE: 5-18-2022
SCALE: 1/4" = 1'-0"
FILE # 2161FL
PROJECT: 2161

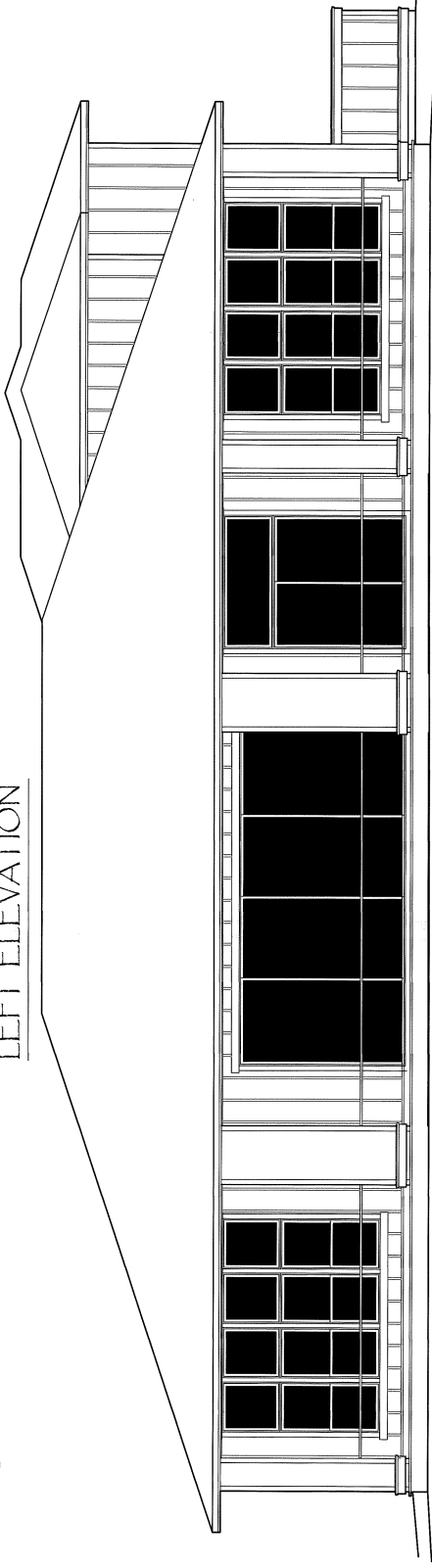
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FILE # 2161FL
PROJECT: 2161



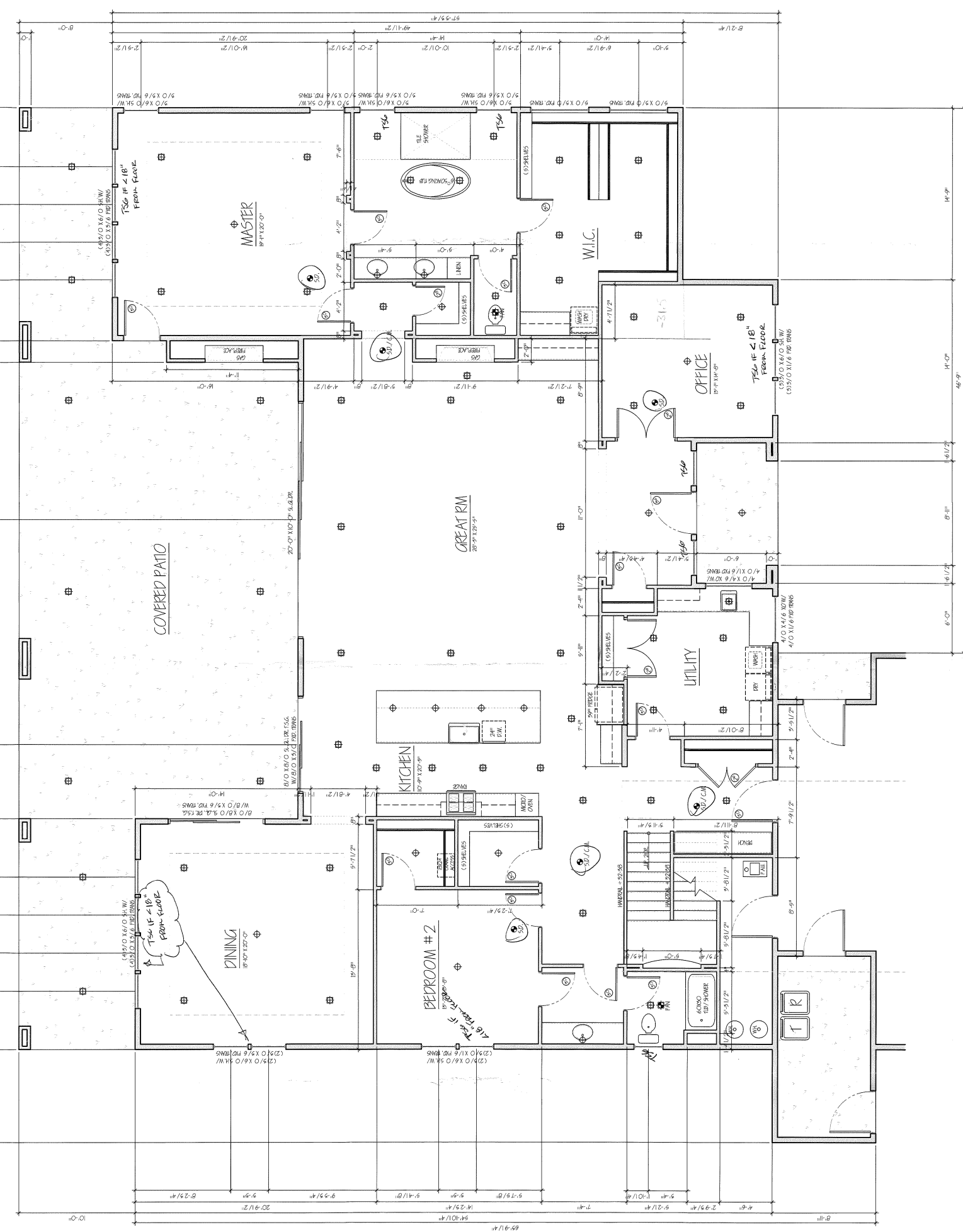
RIGHT ELEVATION



LEFT ELEVATION

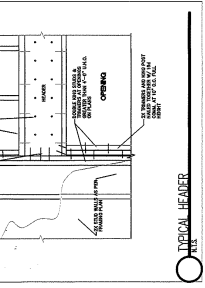
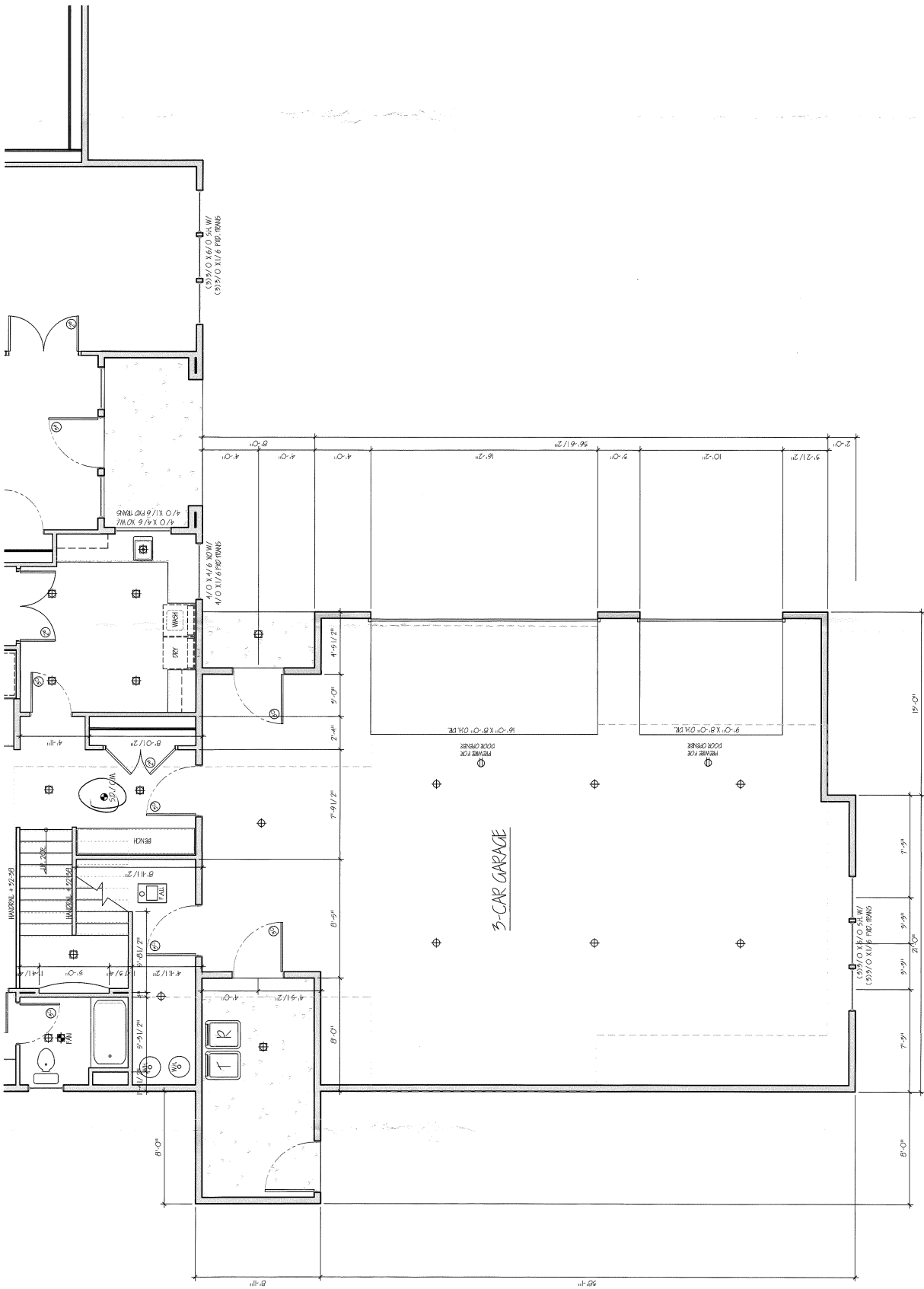


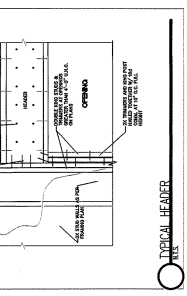
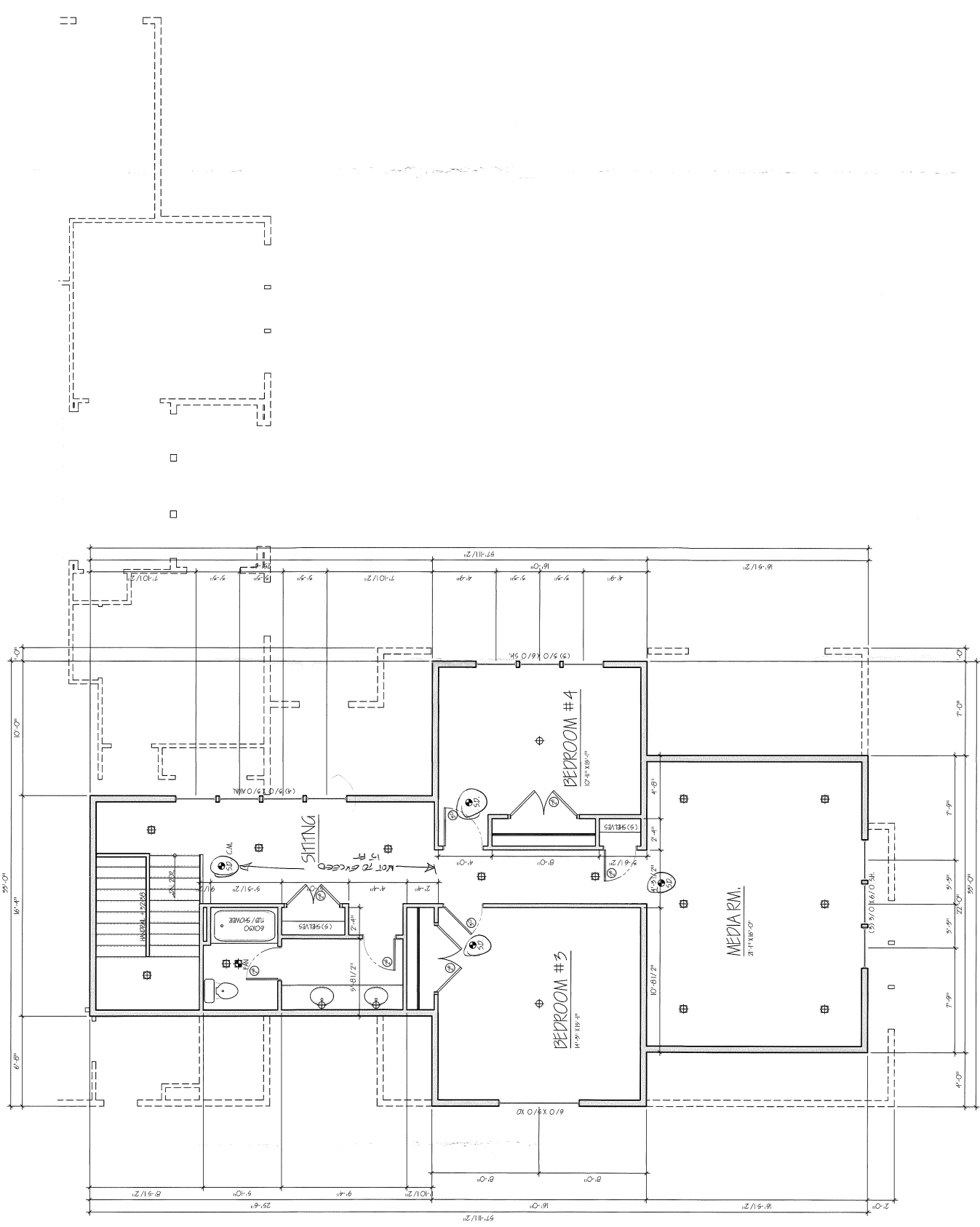
BACK ELEVATION



GARAGE FLOOR PLAN

NEW HOUSE PLAN FOR
SEAMAN RESIDENCE
LOT # DONALD AVE, TURNER, OR







Marion County
5155 Silverton Rd NE
Salem, OR 97305
503-588-5147
Fax: 503-588-7948

Building Permit

Residential Structural

Permit Number: 555-22-010437-STR

IVR Number: 555098148745

Web Address: www.co.marion.or.us

Email Address: building@co.marion.or.us

Permit Issued: February 16, 2023

Application Date: November 16, 2022

TYPE OF WORK

Residential Specialty Code Edition: 2021

Category of Construction: Detached Accessory
Structure

Type of Work: New

Calculated Job Value: \$138,989.63

Description of Work: POOL HOUSE W/ BATHROOM (GRAVITY FLOW)

JOB SITE INFORMATION

Worksite Address
9311 DONALD LN SE
TURNER OR 97392

Parcel
TEMP MC

Owner: MICHAEL SEAMAN
Address: None Given

LICENSED PROFESSIONAL INFORMATION

Business Name	License	License Number	Phone
FOKSHA HOMES INC - Primary	CCB	202644	503-999-8068

PENDING INSPECTIONS

Inspection	Inspection Group	Inspection Status
1120 Foundation	Struct Res	Pending
1110 Footing	Struct Res	Pending
1160 UFER Ground	Struct Res	Pending

SCHEDULING INSPECTIONS

Various inspections are minimally required on each project and often dependent on the scope of work. Contact the issuing jurisdiction indicated on the permit to determine required inspections for this project.

Schedule or track inspections at www.buildingpermits.oregon.gov

Call or text the word "schedule" to 1-888-299-2821 use IVR number: 555098148745

Schedule using the Oregon ePermitting Inspection App, search "epermitting" in the app store

Permits expire if work is not started within 180 Days of issuance or if work is suspended for 180 Days or longer depending on the issuing agency's policy.

Per R105.7 and R 106.3.1, a copy of the building permit and one set of approved construction documents shall be available for review at the work site.

All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. Granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

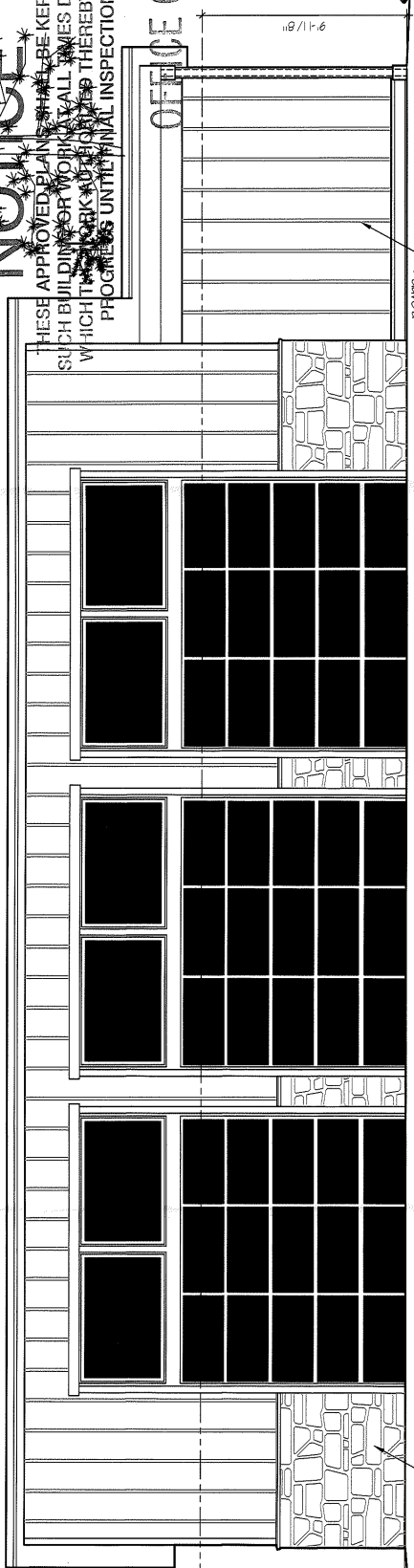
ATTENTION: Oregon law requires you to follow rules adopted by the Oregon Utility Notification Center. Those rules are set forth in OAR 952-001-0010 through OAR 952-001-0090. You may obtain copies of the rules by calling the Center at (503) 232-1987.

All persons or entities performing work under this permit are required to be licensed unless exempted by ORS 701.010 (Structural/Mechanical), ORS 479.540 (Electrical), and ORS 693.010-020 (Plumbing).

NOTICE

THESE APPROVED PLANS SHALL BE KEPT ON SUCH BUILDING OR WORK SHALL BE KEPT DURING WHICH THE WORK IS BEING DONE THEREBY IS IN PROGRESS UNTIL FINAL INSPECTION.

OFFICE COPY



STONE VENEER

FRONT ELEVATION

BUILDING COMPONENTS:

MAXIMUM ALLOWABLE AREA	NO LIMIT
WINDOW GLASS	U - 0.28
DOORS, OTHER THAN ENTRY	U - 0.30
MAIN ENTRY DOOR	U - 0.30
ROLL-UP DOORS	U - 0.50
WALL INSULATION	R-21
INTERIOR INSULATION	R-38
FLAT CEILING	R-50
VALUED CEILING	
SKYLIGHT GLASS	U - 0.50
SKYLIGHT AREA	LESS THAN 2%
BASEMENT WALLS	R-21
SLAB FLOOR EDGE INSULATION	R-15
FORCED AIR DUCT INSULATION	R-8

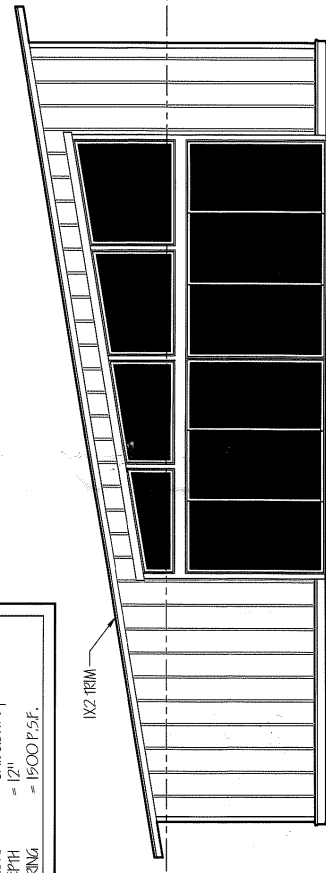
GENERAL NOTES

- THE INTENT OF THESE PLANS IS TO PROVIDE THE CONTRACTOR WITH A GUIDE FOR A FULL, COMPLETE AND WORKABLE PROJECT IN SO FAR AS THE DRAWINGS SHOW AND THE SPECIFICATIONS CALL FOR. THESE PLANS ARE INTENDED FOR USE BY PEOPLE WITH KNOWLEDGE OF BUILDING CONSTRUCTION.
- ALL WORK SHALL COMPLY WITH THE LATEST ADOPTED VERSION OF THE INTERNATIONAL ONE AND TWO FAMILY DWELLING CODE, AND ANY APPLICABLE LOCAL OR COUNTY JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR REVIEWING THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL TAKE ALL PRECEDENCE OVER SCALED DIMENSIONS.
- HEATING/COOLING SPECIFICATIONS AND DRAWINGS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR AS REQUIRED BY BUILDING OFFICIALS.
- PLUMBING AND ELECTRICAL SPECIFICATIONS SHALL BE PROVIDED BY THE RESPECTIVE TRADES, AS REQUIRED BY BUILDING OFFICIALS.
- HEATING LOSS AND ENERGY CALCULATIONS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR, OR OTHER QUALIFIED PROFESSIONAL AS REQUIRED BY BUILD OFFICIALS.
- TRUSS MANUFACTURE SHALL PROVIDE ALL DRAWINGS, SPECIFICATIONS AND ENGINEERING AS REQUIRED BY BUILDING OFFICIALS.

BUILDING INFORMATION

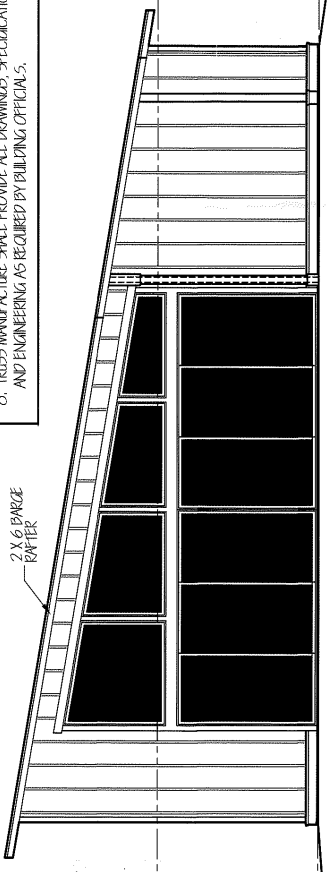
APPLICABLE CODES:
INTERNATIONAL RESIDENTIAL CODE FOR ONE- AND TWO-FAMILY DWELLINGS
PROJECT TYPE:
NEW SINGLE FAMILY RESIDENCE
TOTAL FLOOR AREA: 2297 SQ. FT.
ROOF DRAINAGE AREA: 2815 SQ. FT.
DESIGN LOADS:
A. ROOF LIVE LOAD: = 25 P.S.F.
B. WIND LOAD: = 120 MPH EXPOSURE B
C. SEISMIC ZONE: = CATEGORY D1
D. FROST DEPTH: = 12"
E. SOIL BEARING: = 1500 P.S.F.

RECEIVED
NOV 16 2022
MARION COUNTY
BUILDING INSPECTION



1X2 TRIM

LEFT ELEVATION



2 X 6 BRIDGE RAFTER

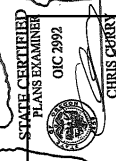
RIGHT ELEVATION

APPROVED ADDRESS NUMBERS SHALL BE PAINTED OR AFFIXED TO THE FRONT OF THE BUILDING IN A CONTRASTING AND HIGHLY VISIBLE COLOR, NOT LESS THAN 4" IN HEIGHT FOR RESIDENTIAL USE. THE NUMBERS SHALL BE AFFIXED PRIOR TO FINAL INSPECTION. (C19) (C10.500) (C087744)
A ROADSIDE MARKER SHALL BE PLACED AT THE ACCESS POINT WITH ADDRESS NUMBERS IN A CONTRASTING AND HIGHLY VISIBLE COLOR, NOT LESS THAN 9" IN HEIGHT.

ALL EXTERIOR MATERIALS AND FINISHES ARE FOR PRESENTATION PURPOSES ONLY. ACTUAL MATERIALS, FINISHES, AND GRADE UP TO BUILDERS DISCRETION.

NOTE:
ACTUAL FINISHED GRADES MAY VARY FROM FINISHED GRADES SHOWN ON ELEVATIONS AND PLANS

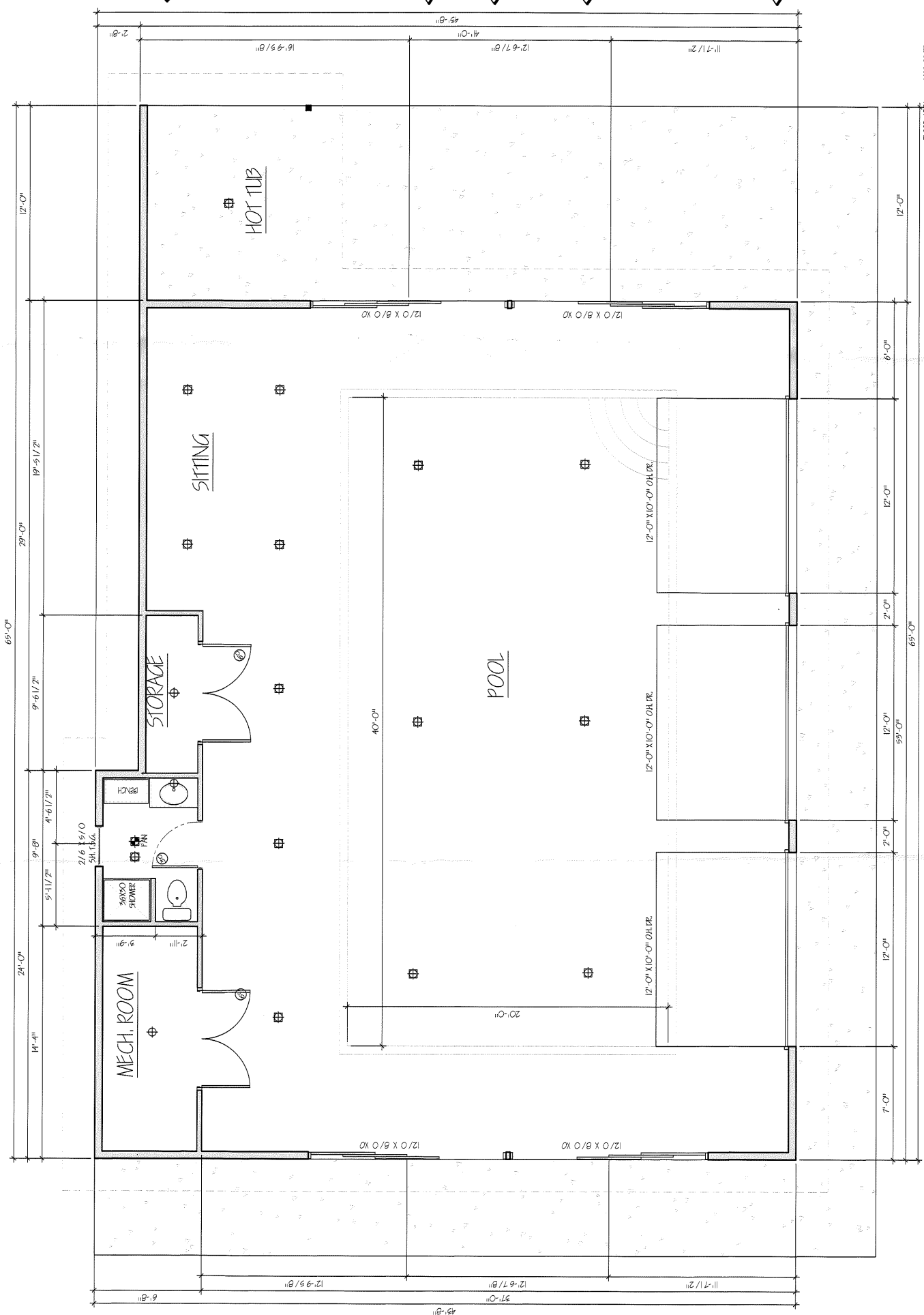
9311 Donald Ln SE Issner



565-22-010437-11-19082

BACK ELEVATION

ELEVATION



FLOOR AREA - 1408 SQ. FT.
FLOOR PLAN

Assessor Monthly Issued Permit Report

For 4/1/2025 to 4/30/2025

PERMIT#: 555-25-002815-STR STATUS: Permit Issued
PERMIT TYPE: Residential APPLIED: 4/17/2025
SUB-TYPE: Structural ISSUED: 4/18/2025
CATEGORY: Comprehensive EXPIRES: 10/15/2025

OFFICE: MC
PARCEL#: 092W06B003400 606651
ACRES: 3.89
SUBDIV: FIELD OF DREAMS ESTATES
LOT/BLOCK: 2 /
ADDRESS: 9311 DONALD LN SE TURNER, OR 97392

RELATIONSHIP	NAME	ADDRESS	PHONE
(C) ELECTRICAL CONTRACTOR	PURE ENERGY GROUP INC	139 ANKENY HILL RD SE JEFFERSON, OR 97352	5413274090
APPLICANT	BENJAMIN STEFFEN	139 ANKENY HILL RD SE JEFFERSON, OR 97352	5039799524
CCB	PURE ENERGY GROUP INC	139 ANKENY HILL RD SE JEFFERSON, OR 97352	5419360980
OWNER	MICHAEL & KERRI SEAMAN LT	1453 JORDAN DR S SALEM, OR 97302	
SITE CONTACT	TRAVIS SHEFFIELD	139 ANKENY HILL RD JEFFERSON, OR 97352	5419360980

CONST CAT: Single Family Dwelling

WORK TYPE: Alteration

WORK DESC: PRESCRIPTIVE Add 20kW Roof-mounted Prescriptive Path PV Solar Array

VALUATION: \$33,000.00

STORIES: 0

BATHS:

KITCHENS:

SQUARE FEET

HABITABLE:

EXISTING: 0

NEW: 0

TOTAL SQ. FT.: